

Emerald Green Property Owners Association

April 13, 2026 • Rock Hill, NY

FULL RESERVE STUDY



Emerald Green Property Owners Association
Rock Hill, New York

Dear Board of Directors of Emerald Green Property Owners Association:

At the direction of the Board that recognizes the need for proper reserve planning, we have conducted a *Full Reserve Study* of Emerald Green Property Owners Association in Rock Hill, New York and submit our findings in this report. The effective date of this study is the date of our visual, noninvasive inspection, April 13, 2026.

This *Full Reserve Study* exceeds the Association of Professional Reserve Analysts (APRA) standards fulfilling the requirements of a “Level I Full Reserve Study.”

An ongoing review by the Board and an Update of this Reserve Study are necessary to ensure an equitable funding plan since a Reserve Study is a snapshot in time. We recommend the Board budget for an Update to this Reserve Study in two- to three-years. We look forward to continuing to help Emerald Green Property Owners Association plan for a successful future.

As part of our long-term thinking and everyday commitment to our clients, we are available to answer any questions you may have regarding this study.

Respectfully submitted on May 21, 2026 by

Reserve Advisors, LLC

Visual Inspection and Report by: David M. Marino, RS¹
Review by: Jon R. Walker, RS, Northeast Regional Engineering Manager
Alan M. Ebert, RS, PRA², Director of Quality Assurance



¹ RS (Reserve Specialist) is the reserve provider professional designation of the Community Associations Institute (CAI) representing America's more than 300,000 condominium, cooperative and homeowners associations.

² PRA (Professional Reserve Analyst) is the professional designation of the Association of Professional Reserve Analysts. Learn more about APRA at <http://www.apra-usa.com>.



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1. RESERVE STUDY EXECUTIVE SUMMARY

Client: Emerald Green Property Owners Association (Emerald Green)

Location: Rock Hill, New York

Reference: 99394

Property Basics: Emerald Green Property Owners Association is a homeowners association which is responsible for the common elements shared by 700 single family homes. The community was built in 1979.

Reserve Components Identified: 79 Reserve Components.

Inspection Date: April 13, 2026.

Funding Goal: The Funding Goal of this Reserve Study is to maintain reserves above an adequate, not excessive threshold during one or more years of significant expenditures. Our recommended Funding Plan recognizes this threshold funding year in 2046 due to the replacement of the asphalt pavement and repairs to the dam and spillway at Lake Davies.

Methodology: We use the Cash Flow Method to compute the Reserve Funding Plan. This method offsets future variable Reserve Expenditures with existing and future stable levels of reserve funding. Our application of this method also considers:

- Current and future local costs of replacement
- 2.6% anticipated annual rate of return on invested reserves
- 3.0% future Inflation Rate for estimating Future Replacement Costs

Sources for Local Costs of Replacement: Our proprietary database, historical costs and published sources, i.e., R.S. Means, Incorporated.

Unaudited Cash Status of Reserve Fund:

- \$455,212 as of April 22, 2026
- The Association did not budget Reserve Contributions in 2026.

Project Prioritization: We note anticipated Reserve Expenditures for the next 30 years in the **Reserve Expenditures** tables and include a **Five-Year Outlook** table following the **Reserve Funding Plan** in Section 3. We recommend the Association prioritize the following projects in the next five years based on the conditions identified:

- Replacement of the asphalt pavement
- Inspections and repairs to the earthen dam and spillway at Lake Davies
- Replacement of the wood bridge
- Paint finishes and partial repairs to the engineered wood siding
- Replacement of the asphalt shingle roof at the maintenance building
- Color coat application to the sports courts
- Paint finishes to the pool surface

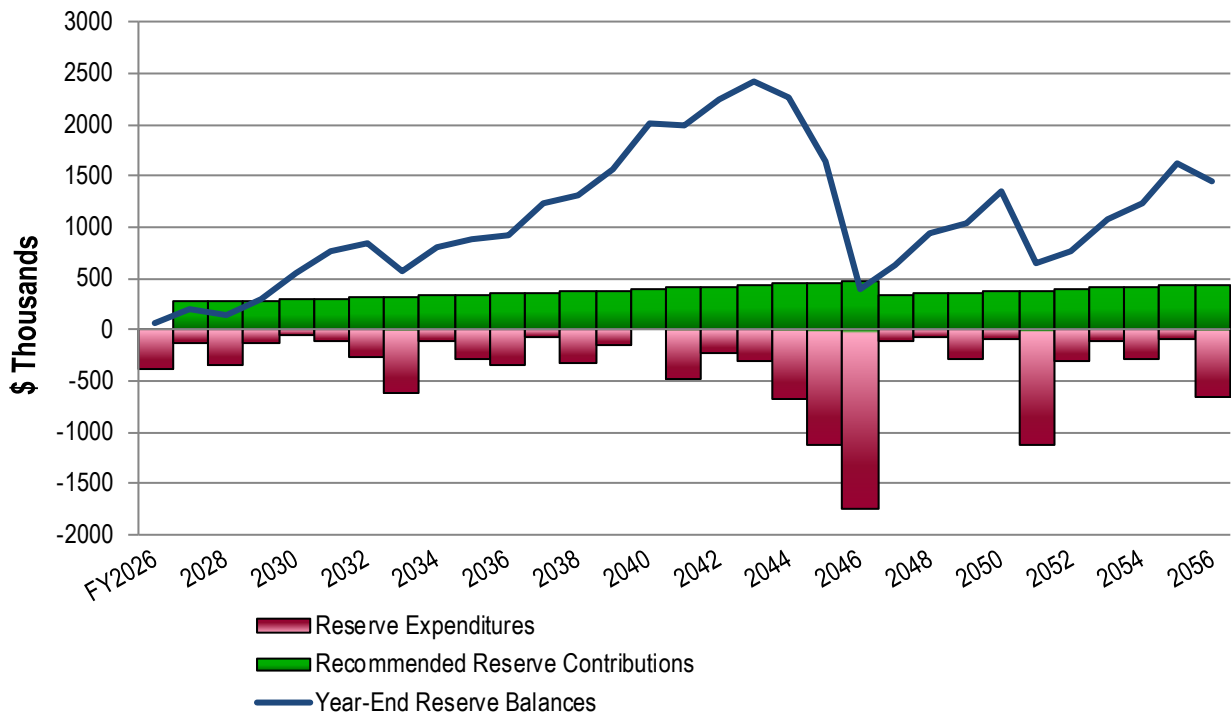


Recommended Reserve Funding: We recommend the following in order to achieve a stable and equitable Cash Flow Methodology Funding Plan:

- We recommend the Association adopt a reserve budget of \$270,000 in 2027
- Inflationary increases from 2028 through 2046
- Decrease to \$340,000 by 2047 due to fully funding for replacement of the asphalt pavement, replacements of the sports court surfaces and interior renovations to the pool house
- Inflationary increases thereafter through 2056, the limit of this study's Cash Flow Analysis
- Initial adjustment of \$270,000 is equivalent to an average increase of \$32.14 in the monthly contributions per owner.

Emerald Green
Recommended Reserve Funding Table and Graph

Year	Reserve Contributions (\$)	Reserve Balances (\$)	Year	Reserve Contributions (\$)	Reserve Balances (\$)	Year	Reserve Contributions (\$)	Reserve Balances (\$)
2027	270,000	202,757	2037	363,000	1,232,198	2047	340,000	628,898
2028	278,100	144,134	2038	373,900	1,304,439	2048	350,200	932,882
2029	286,400	301,631	2039	385,100	1,572,557	2049	360,700	1,041,033
2030	295,000	549,592	2040	396,700	2,015,301	2050	371,500	1,349,706
2031	303,900	762,213	2041	408,600	1,996,055	2051	382,600	643,259
2032	313,000	836,016	2042	420,900	2,247,558	2052	394,100	757,728
2033	322,400	564,066	2043	433,500	2,430,154	2053	405,900	1,070,360
2034	332,100	811,207	2044	446,500	2,268,493	2054	418,100	1,233,175
2035	342,100	883,702	2045	459,900	1,649,414	2055	430,600	1,614,302
2036	352,400	915,008	2046	473,700	394,819	2056	443,500	1,439,593





2. RESERVE STUDY REPORT

At the direction of the Board that recognizes the need for proper reserve planning, we have conducted a *Full Reserve Study* of

Emerald Green Property Owners Association

Rock Hill, New York

and submit our findings in this report. The effective date of this study is the date of our visual, noninvasive inspection, April 13, 2026.

We present our findings and recommendations in the following report sections and spreadsheets:

- **Identification of Property** - Segregates all property into several areas of responsibility for repair or replacement
- **Reserve Expenditures** - Identifies reserve components and related quantities, useful lives, remaining useful lives and future reserve expenditures during the next 30 years
- **Reserve Funding Plan** - Presents the recommended Reserve Contributions and year-end Reserve Balances for the next 30 years
- **Five-Year Outlook** - Identifies reserve components and anticipated reserve expenditures during the first five years
- **Reserve Component Detail** - Describes the reserve components, includes photographic documentation of the condition of various property elements, describes our recommendations for repairs or replacement, and includes detailed solutions and procedures for replacements for the benefit of current and future board members
- **Methodology** - Lists the national standards, methods and procedures used to develop the Reserve Study
- **Definitions** - Contains definitions of terms used in the Reserve Study, consistent with national standards
- **Professional Service Conditions** - Describes Assumptions and Professional Service Conditions
- **Credentials and Resources**

IDENTIFICATION OF PROPERTY



Our investigation includes Reserve Components or property elements as set forth in your Declaration or which were identified as part of your request for proposed services. The Expenditure tables in Section 3 list the elements contained in this study. Our analysis begins by segregating the property elements into several areas of responsibility for repair and replacement.

Our process of identification helps assure that future boards and the management team understand whether reserves, the operating budget or Owners fund certain replacements and assists in preparation of the annual budget. We derive these segregated classes of property from our review of the information provided by the Association and through conversations with Management. These classes of property include:

- Reserve Components
- Long-Lived Property Elements
- Operating Budget Funded Repairs and Replacements
- Property Maintained by Owners
- Property Maintained by Others

We advise the Board conduct an annual review of these classes of property to confirm its policy concerning the manner of funding, i.e., from reserves or the operating budget. Reserve Components are defined by CAI as property elements with:

- Emerald Green responsibility
- Limited useful life expectancies
- Predictable remaining useful life expectancies
- Replacement cost above a minimum threshold

The following tables depict the items excluded from the Reserve Expenditure plan:

Excluded Components

for
Emerald Green
Property Owners Association
Rock Hill, New York

Operating Budget Components

Repairs normally funded through the Operating Budget and Expenditures less than \$8,500 (These relatively minor expenditures have a limited effect on the recommended Reserve Contributions.)

The operating budget provides money for the repair and replacement of certain Reserve Components. The Association may develop independent criteria for use of operating and reserve funds.

- Access Fob Readers
- Basketball Hoops
- Beach, Sand Replenishment
- Boat Storage Racks
- Bulletin Boards
- Catch Basins, Landscape
- Concrete Boat Ramp, Partial Replacements
- Concrete Patio, Under Pavilion, Partial Replacements
- Concrete Sidewalk, Partial Replacements
- Doors, Interior and Miscellaneous Exterior
- Duct Cleaning
- Equipment, Mowers
- Equipment, Snow Blowers
- Equipment, Snow Plow
- Exhaust Fans, Less than 5,000-CFM (cubic feet per minute)
- Expansion Tanks
- Fences, Wood Split Rail
- Fire Extinguishers
- Irrigation System, Controls and Maintenance
- Lakes, Water Management and Weeding
- Landscape
- Light Fixtures, Recessed
- Light Fixtures, Stairwells
- Maintenance Building, Interior
- Office Furniture
- Paint Finishes, Gazebo
- Paint Finishes, Touch Up
- Pool Cover
- Pumps Less Than Five-HP (horsepower)
- Salt Storage Area
- Shade Canopy
- Shuffle Board Court
- Signage, Community Identification, Replacement
- Site Furniture

Excluded Components

for
Emerald Green
Property Owners Association
Rock Hill, New York

Operating Budget Components (Continued)
• Staff, Storage and Service Areas
• Tennis Courts, Standards and Net
• Unit Heaters, Stairwells and Entrances
• Valves, Small Diameter (We assume replacement as needed in lieu of an aggregate replacement of all small diameter valves as a single event.)
• Volleyball Nets
• Walls, Facade, Masonry
• Water Fountains

Long-Lived Components		
	Useful Life	Estimated Cost
These elements may not have predictable Remaining Useful Lives or their replacement may occur beyond the scope of this study. The operating budget should fund infrequent repairs. Funding untimely or unexpected replacements from reserves will necessitate increases to Reserve Contributions. Periodic updates of this Reserve Study will help determine the merits of adjusting the Reserve Funding Plan.		
• Electrical System, Common Buildings	to 70	N/A
• Elevator, Hydraulic, Cylinder, Entertainmentium Building	to 45+	\$147,000
• Foundations, Common Buildings	Indeterminate	N/A
• Pipes, Interior Building	to 75	N/A
• Pipes, Subsurface Utilities	to 85+	N/A
• Pool Deck and Structure (2021)	to 65	N/A
• Septic System, Tanks	Indeterminate	N/A
• Structural Frames, Common Buildings	Indeterminate	N/A
• Walls, Siding, Composite Hardboard, Replacement	to 50	\$403,500
• Windows and Doors	to 40	\$322,000

Owners Responsibility Components
Certain items have been designated as the responsibility of the Owners to repair or replace at their cost, including items billed back.
• Homes and Lots

Others Responsibility Components
Certain items have been designated as the responsibility of Others to repair or replace.
• Vending Machines

Excluded Components

for
Emerald Green
Property Owners Association
Rock Hill, New York

Excluded Component Images



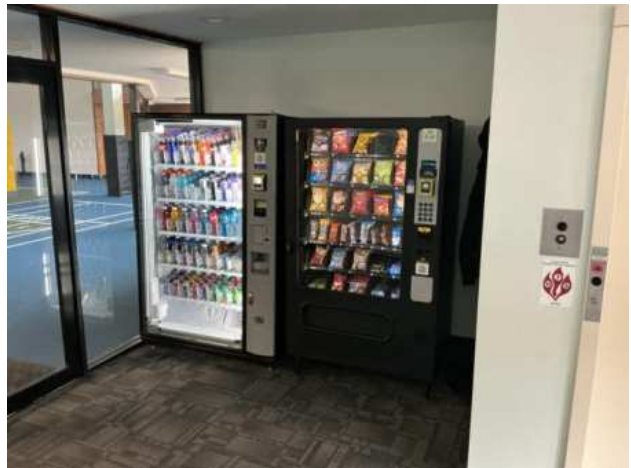
Windows and Doors



Shade Canopy



Water Fountains



Vending Machines

Excluded Components

for
Emerald Green
Property Owners Association
Rock Hill, New York

Excluded Component Images (Continued)



Office Equipment



Water Heater



Beach



Equipment, Snow Blower

Excluded Components

for
Emerald Green
Property Owners Association
Rock Hill, New York

Excluded Component Images (Continued)



Salt Storage Area



Doors - We note door exits are not at grade



3. RESERVE EXPENDITURES and FUNDING PLAN

The tables following this introduction present:

Reserve Expenditures

- Line item numbers
- Total quantities
- Quantities replaced per phase (in a single year)
- Reserve component inventory
- Estimated first year of event (i.e., replacement, application, etc.)
- Life analysis showing
 - useful life
 - remaining useful life
- 2026 local cost of replacement
 - Per unit
 - Per phase
 - Replacement of total quantity
- Percentage of future expenditures anticipated during the next 30 years
- Schedule of estimated future costs for each reserve component including inflation

Reserve Funding Plan

- Reserves at the beginning of each year
- Total recommended reserve contributions
- Estimated interest earned from invested reserves
- Anticipated expenditures by year
- Anticipated reserves at year end
- Predicted reserves based on current funding level

Five-Year Outlook

- Line item numbers
- Reserve component inventory of only the expenditures anticipated to occur within the first five years
- Schedule of estimated future costs for each reserve component anticipated to occur within the first five years

The purpose of a Reserve Study is to provide an opinion of reasonable annual Reserve Contributions. Prediction of exact timing and costs of minor Reserve Expenditures typically will not significantly affect the 30-year cash flow analysis. Adjustments to the times and/or costs of expenditures may not always result in an adjustment in the recommended Reserve Contributions.

Financial statements prepared by your association, by you or others might rely in part on information contained in this section. For your convenience, we have provided an electronic data file containing the tables of **Reserve Expenditures** and **Reserve Funding Plan**.

RESERVE EXPENDITURES

**Emerald Green
Property Owners Association
Rock Hill, New York**

Explanatory Notes:

- 1) **3.0%** is the estimated Inflation Rate for estimating Future Replacement Costs.
- 2) **FY2026** is Fiscal Year beginning January 1, 2026 and ending December 31, 2026.
- 3) **2057+** indicates a component which is considered long-lived

Line Item	Total Quantity	Per Phase Quantity	Units	Reserve Component Inventory	Estimated 1st Year of Event	Life Analysis		Costs, \$			Percentage of Future Expenditures	RUL = 0 FY2026	1 2027	2 2028	3 2029	4 2030	5 2031	6 2032	7 2033	8 2034	9 2035	10 2036	11 2037	12 2038	13 2039	14 2040	15 2041
						Useful Years	Remaining Years	Unit (2026)	Per Phase (2026)	Total (2026)																	
Exterior Building Elements																											
1.280	40	40	Squares	Roof, Asphalt Shingles, Clubhouse (Incl. Gutters and Downspouts)	2045	20 to 25	19	790.00	31,600	31,600	0.5%																
1.281	75	75	Squares	Roofs, Asphalt Shingles, Entertainium Building (Incl. Gutters and Downspouts)	2044	20 to 25	18	790.00	59,250	59,250	0.9%																
1.282	15	15	Squares	Roof, Asphalt Shingles, Maintenance Building (Incl. Gutters and Downspouts)	2027	20 to 25	1	790.00	11,850	11,850	0.3%	12,206															
1.283	50	50	Squares	Roofs, Asphalt Shingles, Pool House and Mechanical Building (Incl. Gutters and Downspouts)	2045	20 to 25	19	790.00	39,500	39,500	0.6%																
1.380	7,100	7,100	Square Feet	Roof, EPDM, Entertainium	2044	15 to 20	18	20.00	142,000	142,000	2.2%																
1.835	1	1	Allowance	Walls, Siding, Engineered Wood, Paint Finishes and Partial Repairs	2028	6 to 8	2	112,000.00	112,000	112,000	8.5%		118,821									146,135					
1.855	1,300	1,300	Square Feet	Walls, Siding, Plywood, Maintenance Building	2033	to 35	7	15.50	20,150	20,150	0.2%								24,782								
1.980	3,500	3,500	Square Feet	Windows and Doors	2061	to 40	35	92.00	322,000	322,000	0.0%																
Interior Building Elements																											
2.185	1	1	Allowance	Clubhouse, Interior Renovations, Complete	2045	to 25	19	112,000.00	112,000	112,000	1.8%																
2.186	1	1	Allowance	Clubhouse, Interior Renovations, Partial	2033	to 12	7	35,000.00	35,000	35,000	0.4%								43,046								
2.195	1	1	Allowance	Clubhouse, Rest Rooms, Renovation	2033	to 25	7	17,500.00	17,500	17,500	0.2%								21,523								
2.197	1	1	Each	Entertainium Building, Elevator Cab Finishes	2041	to 20	15	19,700.00	19,700	19,700	0.3%															30,692	
2.198	1	1	Allowance	Entertainium Building, Exercise Room, Equipment	2036	5 to 15	10	123,900.00	123,900	123,900	3.9%											166,511					
2.199	1	1	Allowance	Entertainium Building, Exercise Room, Renovations	2041	to 20	15	41,700.00	41,700	41,700	0.6%															64,967	
2.205	240	240	Square Yards	Entertainium Building, Floor Coverings, Rubber, Track	2035	10 to 15	9	120.00	28,800	28,800	0.9%										37,577						
2.210	820	820	Square Yards	Entertainium Building, Floor Coverings, Sports Courts	2031	8 to 12	5	78.00	63,960	63,960	2.8%					74,147											99,648
2.212	1	1	Allowance	Entertainium Building, Interior Renovations, Complete	2045	to 25	19	211,000.00	211,000	211,000	3.4%																
2.214	1	1	Allowance	Entertainium Building, Interior Renovations, Partial	2033	to 12	7	99,000.00	99,000	99,000	1.1%									121,758							
2.215	1	1	Allowance	Entertainium Building, Locker Rooms, Renovations	2044	to 25	18	77,000.00	77,000	77,000	1.2%																
2.216	1	1	Allowance	Entertainium Building, Rest Rooms, Renovations	2044	to 25	18	10,800.00	10,800	10,800	0.2%																
2.220	1	1	Allowance	Pool House, Interior Renovations, Complete	2046	to 25	20	111,000.00	111,000	111,000	1.8%																
2.222	1	1	Allowance	Pool House, Interior Renovations, Partial	2033	to 12	7	72,000.00	72,000	72,000	0.8%									88,551							
2.224	1	1	Allowance	Pool House, Locker Rooms, Renovations	2046	to 25	20	55,000.00	55,000	55,000	0.9%																
Building Services Elements																											
3.070	1	1	Each	Air Handling and Condensing Units, Split Systems, Clubhouse	2046	15 to 20	20	13,000.00	13,000	13,000	0.2%																
3.071	10	10	Each	Air Handling and Condensing Units, Mini-Split Systems, Entertainium Building	2041	15 to 20	15	7,000.00	70,000	70,000	1.0%															109,058	
3.072	4	4	Each	Air Handling and Condensing Units, Mini-Split Systems, Pool House	2041	15 to 20	15	7,000.00	28,000	28,000	0.4%															43,623	
3.320	1	1	Each	Elevator, Hydraulic, Pump and Controls, Entertainium Building	2052	to 30	26	92,000.00	92,000	92,000	1.8%																
3.555	1	1	Allowance	Life Safety System, Control Panel, Clubhouse, Entertainium and Pool House	2036	to 15	10	11,500.00	11,500	11,500	0.4%											15,455					
3.560	1	1	Allowance	Life Safety System, Control Panel and Emergency Devices, Clubhouse, Entertainium and Pool House	2046	to 25	20	55,000.00	55,000	55,000	0.9%																
3.821	1	1	Allowance	Security System, Surveillance System, Entertainium Building	2036	to 15	10	26,000.00	26,000	26,000	0.8%											34,942					
3.822	1	1	Allowance	Security System, Surveillance System, Pool House	2036	to 15	10	21,000.00	21,000	21,000	0.7%											28,222					
Property Site Elements																											
4.020	14,300	14,300	Square Yards	Asphalt Pavement, Parking Areas, Access Drives and Walking Paths, Crack Repairs, Patch and Striping	2031	3 to 5	5	1.00	14,300	14,300	1.1%					16,578						19,218				22,279	
4.040	9,700	9,700	Square Yards	Asphalt Pavement, Entertainium and Clubhouse, Parking Areas, Access Drive and Walking Paths, Mill and Overlay (2026 is Planned)	2026	15 to 20	0	17.50	169,750	169,750	4.3%	169,750															
4.041	4,600	4,600	Square Yards	Asphalt Pavement, Pool House, Parking Areas and Walking Paths, Mill and Overlay (2026 is Planned)	2026	15 to 20	0	17.50	80,500	80,500	2.0%	80,500															
4.120	1	1	Allowance	Bridge, Wood, Replacement	2026	15 to 25	0	23,300.00	23,300	23,300	0.7%	23,300															
4.185	1	1	Allowance	Dam and Spill Way, Lake Davies, Inspections and Capital Repairs (Near Term is Planned Repairs)	2026	10 to 15	0	10,000.00	10,000	10,000	1.5%	120,000														15,580	
4.186	1	1	Allowance	Dam and Spill Way, Lake Louise Marie, Inspections and Capital Repairs	2031	10 to 15	5	15,000.00	15,000	15,000	0.4%					17,389											
4.200	560	560	Linear Feet	Fences, Aluminum, Near Dam	2033	to 25	7	80.00	44,800	44,800	0.5%								55,098								
4.220	580	580	Linear Feet	Fences, Chain Link, Dog Park and On Top of Masonry Wall	2045	to 25	19	45.00	26,100	26,100	0.4%																
4.310	3	3	Each	Gate Entry Systems	2035	to 10	9	7,900.00	23,700	23,700	1.2%										30,923						
4.360	1	1	Each	Gazebo, Replacement	2032	to 25	6	18,500.00	18,500	18,500	0.6%						22,090										

RESERVE EXPENDITURES

**Emerald Green
Property Owners Association
Rock Hill, New York**

Line Item	Total Quantity	Per Phase Quantity	Units	Reserve Component Inventory	Estimated 1st Year of Event	Life Analysis		Costs, \$			Percentage of Future Expenditures	16 2042	17 2043	18 2044	19 2045	20 2046	21 2047	22 2048	23 2049	24 2050	25 2051	26 2052	27 2053	28 2054	29 2055	30 2056	
						Useful Years	Remaining	Unit (2026)	Per Phase (2026)	Total (2026)																	
Exterior Building Elements																											
1.280	40	40	Squares	Roof, Asphalt Shingles, Clubhouse (Incl. Gutters and Downspouts)	2045	20 to 25	19	790.00	31,600	31,600	0.5%				55,411												
1.281	75	75	Squares	Roofs, Asphalt Shingles, Entertainium Building (Incl. Gutters and Downspouts)	2044	20 to 25	18	790.00	59,250	59,250	0.9%		100,869														
1.282	15	15	Squares	Roof, Asphalt Shingles, Maintenance Building (Incl. Gutters and Downspouts)	2027	20 to 25	1	790.00	11,850	11,850	0.3%									24,811							
1.283	50	50	Squares	Roofs, Asphalt Shingles, Pool House and Mechanical Building (Incl. Gutters and Downspouts)	2045	20 to 25	19	790.00	39,500	39,500	0.6%				69,263												
1.380	7,100	7,100	Square Feet	Roof, EPDM, Entertainium	2044	15 to 20	18	20.00	142,000	142,000	2.2%			241,745													
1.835	1	1	Allowance	Walls, Siding, Engineered Wood, Paint Finishes and Partial Repairs	2028	6 to 8	2	112,000.00	112,000	112,000	8.5%	179,727						221,042								271,853	
1.855	1,300	1,300	Square Feet	Walls, Siding, Plywood, Maintenance Building	2033	to 35	7	15.50	20,150	20,150	0.2%																
1.980	3,500	3,500	Square Feet	Windows and Doors	2061	to 40	35	92.00	322,000	322,000	0.0%																
Interior Building Elements																											
2.185	1	1	Allowance	Clubhouse, Interior Renovations, Complete	2045	to 25	19	112,000.00	112,000	112,000	1.8%				196,393												
2.186	1	1	Allowance	Clubhouse, Interior Renovations, Partial	2033	to 12	7	35,000.00	35,000	35,000	0.4%																
2.195	1	1	Allowance	Clubhouse, Rest Rooms, Renovation	2033	to 25	7	17,500.00	17,500	17,500	0.2%																
2.197	1	1	Each	Entertainium Building, Elevator Cab Finishes	2041	to 20	15	19,700.00	19,700	19,700	0.3%																
2.198	1	1	Allowance	Entertainium Building, Exercise Room, Equipment	2036	5 to 15	10	123,900.00	123,900	123,900	3.9%										259,419						
2.199	1	1	Allowance	Entertainium Building, Exercise Room, Renovations	2041	to 20	15	41,700.00	41,700	41,700	0.6%																
2.205	240	240	Square Yards	Entertainium Building, Floor Coverings, Rubber, Track	2035	10 to 15	9	120.00	28,800	28,800	0.9%							56,839									
2.210	820	820	Square Yards	Entertainium Building, Floor Coverings, Sports Courts	2031	8 to 12	5	78.00	63,960	63,960	2.8%										133,918						
2.212	1	1	Allowance	Entertainium Building, Interior Renovations, Complete	2045	to 25	19	211,000.00	211,000	211,000	3.4%				369,990												
2.214	1	1	Allowance	Entertainium Building, Interior Renovations, Partial	2033	to 12	7	99,000.00	99,000	99,000	1.1%																
2.215	1	1	Allowance	Entertainium Building, Locker Rooms, Renovations	2044	to 25	18	77,000.00	77,000	77,000	1.2%			131,087													
2.216	1	1	Allowance	Entertainium Building, Rest Rooms, Renovations	2044	to 25	18	10,800.00	10,800	10,800	0.2%			18,386													
2.220	1	1	Allowance	Pool House, Interior Renovations, Complete	2046	to 25	20	111,000.00	111,000	111,000	1.8%					200,478											
2.222	1	1	Allowance	Pool House, Interior Renovations, Partial	2033	to 12	7	72,000.00	72,000	72,000	0.8%																
2.224	1	1	Allowance	Pool House, Locker Rooms, Renovations	2046	to 25	20	55,000.00	55,000	55,000	0.9%					99,336											
Building Services Elements																											
3.070	1	1	Each	Air Handling and Condensing Units, Split Systems, Clubhouse	2046	15 to 20	20	13,000.00	13,000	13,000	0.2%				23,479												
3.071	10	10	Each	Air Handling and Condensing Units, Mini-Split Systems, Entertainium Building	2041	15 to 20	15	7,000.00	70,000	70,000	1.0%																
3.072	4	4	Each	Air Handling and Condensing Units, Mini-Split Systems, Pool House	2041	15 to 20	15	7,000.00	28,000	28,000	0.4%																
3.320	1	1	Each	Elevator, Hydraulic, Pump and Controls, Entertainium Building	2052	to 30	26	92,000.00	92,000	92,000	1.8%										198,406						
3.555	1	1	Allowance	Life Safety System, Control Panel, Clubhouse, Entertainium and Pool House	2036	to 15	10	11,500.00	11,500	11,500	0.4%										24,078						
3.560	1	1	Allowance	Life Safety System, Control Panel and Emergency Devices, Clubhouse, Entertainium and Pool House	2046	to 25	20	55,000.00	55,000	55,000	0.9%					99,336											
3.821	1	1	Allowance	Security System, Surveillance System, Entertainium Building	2036	to 15	10	26,000.00	26,000	26,000	0.8%										54,438						
3.822	1	1	Allowance	Security System, Surveillance System, Pool House	2036	to 15	10	21,000.00	21,000	21,000	0.7%										43,969						
Property Site Elements																											
4.020	14,300	14,300	Square Yards	Asphalt Pavement, Parking Areas, Access Drives and Walking Paths, Crack Repairs, Patch and Striping	2031	3 to 5	5	1.00	14,300	14,300	1.1%									29,941						34,710	
4.040	9,700	9,700	Square Yards	Asphalt Pavement, Entertainium and Clubhouse, Parking Areas, Access Drive and Walking Paths, Mill and Overlay (2026 is Planned)	2026	15 to 20	0	17.50	169,750	169,750	4.3%				306,587												
4.041	4,600	4,600	Square Yards	Asphalt Pavement, Pool House, Parking Areas and Walking Paths, Mill and Overlay (2026 is Planned)	2026	15 to 20	0	17.50	80,500	80,500	2.0%				145,392												
4.120	1	1	Allowance	Bridge, Wood, Replacement	2026	15 to 25	0	23,300.00	23,300	23,300	0.7%										48,785						
4.185	1	1	Allowance	Dam and Spill Way, Lake Davies, Inspections and Capital Repairs (Near Term is Planned Repairs)	2026	10 to 15	0	10,000.00	10,000	10,000	1.5%															24,273	
4.186	1	1	Allowance	Dam and Spill Way, Lake Louise Marie, Inspections and Capital Repairs	2031	10 to 15	5	15,000.00	15,000	15,000	0.4%					27,092											
4.200	560	560	Linear Feet	Fences, Aluminum, Near Dam	2033	to 25	7	80.00	44,800	44,800	0.5%																
4.220	580	580	Linear Feet	Fences, Chain Link, Dog Park and On Top of Masonry Wall	2045	to 25	19	45.00	26,100	26,100	0.4%				45,767												
4.310	3	3	Each	Gate Entry Systems	2035	to 10	9	7,900.00	23,700	23,700	1.2%				41,558										55,851		
4.360	1	1	Each	Gazebo, Replacement	2032	to 25	6	18,500.00	18,500	18,500	0.6%															44,904	

RESERVE EXPENDITURES

**Emerald Green
Property Owners Association
Rock Hill, New York**

Explanatory Notes:

- 1) **3.0%** is the estimated Inflation Rate for estimating Future Replacement Costs.
- 2) **FY2026** is Fiscal Year beginning January 1, 2026 and ending December 31, 2026.
- 3) **2057+** indicates a component which is considered long-lived

Line Item	Total Quantity	Per Phase Quantity	Units	Reserve Component Inventory	Estimated 1st Year of Event	Life Analysis		Costs, \$			Percentage of Future Expenditures	RUL = 0 FY2026	1 2027	2 2028	3 2029	4 2030	5 2031	6 2032	7 2033	8 2034	9 2035	10 2036	11 2037	12 2038	13 2039	14 2040	15 2041	
						Useful Years	Remaining Years	Unit (2026)	Per Phase (2026)	Total (2026)																		
4.500	1	1	Allowance	Landscape, Partial Replacements	2027	to 10	1	18,000.00	18,000	18,000	0.7%		18,540															24,916
4.560	22	22	Each	Light Poles and Fixtures, Lower Entrance Drive and Pool House Parking Area	2045	to 25	19	3,400.00	74,800	74,800	1.2%																	
4.561	4	4	Each	Light Poles and Fixtures, Upper Parking Area Near Clubhouse	2027	to 25	1	4,500.00	18,000	18,000	0.5%	18,540																
4.660	1	1	Each	Playground Equipment, Clubhouse	2032	15 to 20	6	28,000.00	28,000	28,000	0.9%						33,433											
4.661	1	1	Each	Playground Equipment, Pool House	2041	15 to 20	15	60,000.00	60,000	60,000	0.8%																	93,478
4.736	560	560	Square Feet	Retaining Wall, Concrete, Tennis Court, Replacement	2032	to 35	6	125.00	70,000	70,000	0.8%						83,584											
4.740	1,800	1,800	Square Feet	Retaining Walls, Masonry, Clubhouse, Inspections and Repairs	2039	10 to 15	13	11.00	19,800	19,800	0.7%														29,077			
4.742	2,900	2,900	Square Feet	Retaining Walls, Masonry, Pool House and Beach, Inspections and Repairs	2036	10 to 15	10	11.00	31,900	31,900	1.0%												42,871					
4.780	1	1	Allowance	Septic Systems	2051	to 30	25	27,600.00	27,600	27,600	0.5%																	
4.782	1	1	Each	Shed, Replacement	2029	to 25	3	10,000.00	10,000	10,000	0.3%				10,927													
4.840	230	230	Linear Feet	Sport Court, Basketball, Fence	2046	to 25	20	60.00	13,800	13,800	0.2%																	
4.842	2,960	2,960	Square Feet	Sport Court, Basketball, Surface, Color Coat	2028	4 to 6	2	2.00	5,920	5,920	0.5%		6,281						7,281						8,441			
4.844	2,960	2,960	Square Feet	Sport Court, Basketball, Surface, Replacement	2046	to 25	20	7.50	22,200	22,200	0.4%																	
4.846	250	250	Linear Feet	Sport Court, Pickleball, Fence	2046	to 25	20	60.00	15,000	15,000	0.2%																	
4.848	3,520	3,520	Square Feet	Sport Court, Pickleball, Surface, Color Coat	2028	4 to 6	2	2.00	7,040	7,040	0.6%		7,469						8,658						10,037			
4.850	3,520	3,520	Square Feet	Sport Court, Pickleball, Surface, Replacement	2046	to 25	20	7.50	26,400	26,400	0.4%																	
4.852	3,540	3,540	Square Feet	Sport Court, Raquetball/Handball, Surface, Color Coat	2033	to 25	7	2.00	7,080	7,080	0.4%								8,708						10,094			
4.854	3,540	3,540	Square Feet	Sport Court, Raquetball/Handball, Surface, Replacement	2028	4 to 6	2	7.50	26,550	26,550	0.8%		28,167															
4.856	1	1	Allowance	Sports Court, Raquetball/Handball, Wall, Repairs and Restoration	2028	to 25	2	26,000.00	26,000	26,000	0.8%		27,583															
4.858	910	910	Linear Feet	Sport Courts, Tennis, Clubhouse, Fence	2033	to 25	7	60.00	54,600	54,600	0.6%								67,151									
4.860	26,000	26,000	Square Feet	Sport Courts, Tennis, Clubhouse, Surface, Color Coat	2028	4 to 6	2	2.00	52,000	52,000	4.7%		55,167						63,953						74,140			
4.862	26,000	26,000	Square Feet	Sport Courts, Tennis, Clubhouse, Surface, Replacement	2046	to 25	20	7.50	195,000	195,000	3.2%																	
4.864	470	470	Linear Feet	Sport Courts, Tennis, Pool House, Fence	2033	to 25	7	60.00	28,200	28,200	0.3%								34,682									
4.866	13,540	13,540	Square Feet	Sport Courts, Tennis, Pool House, Surface, Color Coat	2028	4 to 6	2	2.00	27,080	27,080	2.4%		28,729						33,305						38,610			
4.868	13,540	13,540	Square Feet	Sport Courts, Tennis, Pool House, Surface, Replacement	2046	to 25	20	7.50	101,550	101,550	1.7%																	
Maintenance Equipment and Vehicle Elements																												
5.001	1	1	Allowance	Equipment, Boat, Silver Mist Aquatics Eco Weed Harvester, 2013	2037	to 25	11	35,000.00	35,000	35,000	0.4%																48,448	
5.002	1	1	Allowance	Equipment, Tractor, John Deere, 1025R, 2017	2030	10 to 15	4	24,000.00	24,000	24,000	1.1%					27,012												
5.003	1	1	Allowance	Truck, Chevy, 3500 Dump, 2012	2028	10 to 15	2	65,000.00	65,000	65,000	1.6%		68,959															
5.004	1	1	Allowance	Truck, Ford F350, 2018	2032	10 to 15	6	55,000.00	55,000	55,000	1.5%							65,673										
Pool Elements																												
6.200	6,400	6,400	Square Feet	Concrete Deck, Inspections, Partial Replacements and Repairs	2035	8 to 12	9	2.00	12,800	12,800	0.6%											16,701						
6.400	920	920	Linear Feet	Fences, Chain Link, Replacement	2046	to 25	20	47.00	43,240	43,240	0.7%																	
6.500	3	1	Allowance	Furniture, Phased	2030	to 12	4 to 10	27,500.00	27,500	82,500	2.8%				30,951			33,822				36,958						
6.600	3	1	Allowance	Mechanical Equipment, Phased	2029	to 15	3 to 9	46,000.00	46,000	138,000	3.8%				50,265		54,926				60,020							
6.699	2,100	2,100	Square Feet	Pavilion, Wood, Renovation	2029	to 25	3	32.00	67,200	67,200	2.1%				73,431													
6.700	1,800	1,800	Square Feet	Pergola, Wood	2034	to 25	8	45.00	81,000	81,000	0.9%								102,608									
6.800	6,800	6,800	Square Feet	Pool Finishes, Plaster	2027	8 to 12	1	12.50	85,000	85,000	3.5%	87,550														124,825		
6.801	500	500	Linear Feet	Pool Finishes, Tile (Incl. Coping)	2045	15 to 25	19	170.00	85,000	85,000	1.4%																	
Marina Elements																												
8.500	1,660	1,660	Square Feet	Dock, Floating, Composite with Aluminum Trim, Replacement	2038	to 30	12	81.50	135,290	135,290	1.7%															192,891		
8.502	800	800	Square Feet	Dock, Floating, PVC, Replacement (Incl. Aluminum Ramp)	2044	20 to 30	18	72.00	57,600	57,600	0.9%																	
Anticipated Expenditures, By Year (\$11,024,197 over 30 years)												393,550	136,836	341,175	134,624	57,964	108,114	259,706	612,317	102,608	291,356	344,177	73,364	334,213	153,902	0	479,324	

RESERVE FUNDING PLAN

CASH FLOW ANALYSIS
Emerald Green
Property Owners Association
 Rock Hill, New York

		Individual Reserve Budgets & Cash Flows for the Next 30 Years															
		FY2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041
Reserves at Beginning of Year	(Note 1)	455,212	66,142	202,757	144,134	301,631	549,592	762,213	836,016	564,066	811,207	883,702	915,008	1,232,198	1,304,439	1,572,557	2,015,301
Total Recommended Reserve Contributions	(Note 2)	0	270,000	278,100	286,400	295,000	303,900	313,000	322,400	332,100	342,100	352,400	363,000	373,900	385,100	396,700	408,600
Estimated Interest Earned, During Year	(Note 3)	4,480	3,451	4,452	5,721	10,924	16,835	20,510	17,967	17,649	21,751	23,083	27,555	32,553	36,921	46,044	51,478
Anticipated Expenditures, By Year		(393,550)	(136,836)	(341,175)	(134,624)	(57,964)	(108,114)	(259,706)	(612,317)	(102,608)	(291,356)	(344,177)	(73,364)	(334,213)	(153,902)	0	(479,324)
Anticipated Reserves at Year End		\$66,142	\$202,757	\$144,134	\$301,631	\$549,592	\$762,213	\$836,016	\$564,066	\$811,207	\$883,702	\$915,008	\$1,232,198	\$1,304,439	\$1,572,557	\$2,015,301	\$1,996,055

(continued)

		Individual Reserve Budgets & Cash Flows for the Next 30 Years, Continued														
		2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056
Reserves at Beginning of Year		1,996,055	2,247,558	2,430,154	2,268,493	1,649,414	394,819	628,898	932,882	1,041,033	1,349,706	643,259	757,728	1,070,360	1,233,175	1,614,302
Total Recommended Reserve Contributions		420,900	433,500	446,500	459,900	473,700	340,000	350,200	360,700	371,500	382,600	394,100	405,900	418,100	430,600	443,500
Estimated Interest Earned, During Year		54,459	60,030	60,299	50,279	26,234	13,138	20,043	25,332	30,681	25,576	17,979	23,460	29,562	36,542	39,191
Anticipated Expenditures, By Year		(223,857)	(310,934)	(668,460)	(1,129,258)	(1,754,529)	(119,059)	(66,259)	(277,881)	(93,509)	(1,114,623)	(297,610)	(116,729)	(284,847)	(86,015)	(657,400)
Anticipated Reserves at Year End		\$2,247,558	\$2,430,154	\$2,268,493	\$1,649,414	\$394,819	\$628,898	\$932,882	\$1,041,033	\$1,349,706	\$643,259	\$757,728	\$1,070,360	\$1,233,175	\$1,614,302	\$1,439,593

(NOTE 5)

(NOTE 4)

Explanatory Notes:

- 1) Year 2026 starting reserves are as of April 22, 2026; FY2026 starts January 1, 2026 and ends December 31, 2026.
- 2) Reserve Contributions for 2026 are the remaining budgeted 8 months; 2027 is the first year of recommended contributions.
- 3) 2.6% is the estimated annual rate of return on invested reserves; 2026 is a partial year of interest earned.
- 4) Accumulated year 2056 ending reserves consider the age, size, overall condition and complexity of the property.
- 5) Threshold Funding Year (reserve balance at critical point).

FIVE-YEAR OUTLOOK

Emerald Green Property Owners Association Rock Hill, New York

Line Item	Reserve Component Inventory	RUL = 0 FY2026	1 2027	2 2028	3 2029	4 2030	5 2031
Exterior Building Elements							
1.282	Roof, Asphalt Shingles, Maintenance Building (Incl. Gutters and Downspouts)		12,206				
1.835	Walls, Siding, Engineered Wood, Paint Finishes and Partial Repairs			118,821			
Interior Building Elements							
2.210	Entertainment Building, Floor Coverings, Sports Courts						74,147
Property Site Elements							
4.020	Asphalt Pavement, Parking Areas, Access Drives and Walking Paths, Crack Repairs, Patch and Striping						16,578
4.040	Asphalt Pavement, Entertainment and Clubhouse, Parking Areas, Access Drive and Walking Paths, Mill and Overlay (2026 is Planned)	169,750					
4.041	Asphalt Pavement, Pool House, Parking Areas and Walking Paths, Mill and Overlay (2026 is Planned)	80,500					
4.120	Bridge, Wood, Replacement	23,300					
4.185	Dam and Spill Way, Lake Davies, Inspections and Capital Repairs (Near Term is Planned Repairs)	120,000					
4.186	Dam and Spill Way, Lake Lousie Marie, Inspections and Capital Repairs						17,389
4.500	Landscape, Partial Replacements		18,540				
4.561	Light Poles and Fixtures, Upper Parking Area Near Clubhouse		18,540				
4.782	Shed, Replacement				10,927		
4.842	Sport Court, Basketball, Surface, Color Coat			6,281			
4.848	Sport Court, Pickleball, Surface, Color Coat			7,469			
4.854	Sport Court, Raquetball/Handball, Surface, Replacement			28,167			
4.856	Sports Court, Raquetball/Handball, Wall, Repairs and Restoration			27,583			
4.860	Sport Courts, Tennis, Clubhouse, Surface, Color Coat			55,167			
4.866	Sport Courts, Tennis, Pool House, Surface, Color Coat			28,729			
Maintenance Equipment and Vehicle Elements							
5.002	Equipment, Tractor, John Deere, 1025R, 2017						27,012
5.003	Truck, Chevy, 3500 Dump, 2012			68,959			
Pool Elements							
6.500	Furniture, Phased						30,951
6.600	Mechanical Equipment, Phased				50,265		
6.699	Pavilion, Wood, Renovation				73,431		
6.800	Pool Finishes, Plaster		87,550				
Anticipated Expenditures, By Year (\$1,172,262 over 5 years)		393,550	136,836	341,175	134,624	57,964	108,114

4. RESERVE COMPONENT DETAIL

The Reserve Component Detail of this *Full Reserve Study* includes enhanced solutions and procedures for select significant components. This section describes the Reserve Components, documents specific problems and condition assessments, and may include detailed solutions and procedures for necessary capital repairs and replacements for the benefit of current and future board members. We advise the Board use this information to help define the scope and procedures for repair or replacement when soliciting bids or proposals from contractors. *However, the Report in whole or part is not and should not be used as a design specification or design engineering service.*

Exterior Building Elements



Pool mechanical building front and side elevation



Pool mechanical building rear



Pool house front building elevation



Pool house rear building elevation



Clubhouse front building elevation



Clubhouse rear building elevation



Entertainium building overview



Entertainium building overview



Entertainium building overview



Entertainium building overview

Roofs, Asphalt Shingles

Line Items: 1.280, 1.281 1.282, and 1.283

Quantity, History and Condition:

Clubhouse: Approximately 40 *squares*¹, dates to 2021, good to fair overall condition with isolated shingle lift and downspouts discharge directly onto lower roofs evident.

Entertainium building: Approximately 75 squares, dates to 2021, good to fair overall condition with isolated shingle lift and downspouts discharge directly onto lower roofs evident.

Maintenance building: Approximately 15 squares, unknown age, poor overall condition with stains, missing shingles, partial replacements, weathered shingles and deterioration evident.

Pool house and pool mechanical building: Approximately 50 squares, dates to 2021, good to fair overall condition with downspouts discharge directly onto lower roofs evident.



Pool mechanical building roof overview



Pool mechanical building roof overview

¹ We quantify the roof area in squares where one square is equal to 100 square feet of surface area.



Pool mechanical building roof overview



Pool mechanical building roof overview



Pool house roof overview



Pool house roof overview



Pool house roof overview



Clubhouse roof overview



Clubhouse roof overview



Clubhouse roof overview



Shingle lift and downspouts discharge directly onto lower roof at the clubhouse



Shingle lift at the clubhouse



Maintenance building roof overview



Maintenance building roof overview



Previous replaced shingles, missing shingles and deterioration



Stains and weathered shingles



Entertainium building roof overview



Entertainium building roof overview



Entertainium building roof overview



Entertainium building roof overview



Downspouts discharge directly onto lower roof at the entertainium building

Useful Life: 20- to 25-years

Component Detail Notes: The existing roof assembly comprises the following:

- Laminate architectural shingles
- Boston style ridge caps
- Rubber seal with plastic base boot flashing at waste pipes
- Soffit and square hood box vents
- Metal drip edge
- Enclosed half weaved valleys

Insulation and ventilation are two major components of a sloped roof system. Together, proper insulation and ventilation help to control attic moisture and maintain an energy efficient building. Both insulation and ventilation prevent moisture buildup which can cause wood rot, mold and mildew growth, warp sheathing, deteriorate shingles, and eventually damage building interiors. Sufficient insulation helps to minimize the quantity of moisture that enters the attic spaces and adequate ventilation helps to remove any moisture that enters the attic spaces. These two roof system components also help to reduce the amount of energy that is required to heat and cool a building. Proper attic insulation minimizes heat gain and heat loss between the residential living spaces and attic spaces. This reduces energy consumption year-round. Proper attic ventilation removes excessive heat from attic spaces that can radiate into residential living spaces and cause air conditioners to work harder. Properly installed attic insulation and ventilation work together to maximize the useful life of sloped roof systems.

In addition to moisture control and energy conservation, proper attic insulation and ventilation are essential components to prevent the formation of ice dams. Ice dams occur when warm air accumulates at the peak of an attic while the roof eaves remain cold. Warm air from the attic melts the snow at the ridge of the roof and the water runs down the slope of the roof. At the cold roof eaves, the water refreezes and forms a buildup of snow and ice. This buildup often traps water that can prematurely deteriorate asphalt shingles and ultimately seep under the shingles and cause water damage to the roof deck and building interiors. Proper insulation minimizes the amount of heat that enters attic spaces in the winter and adequate ventilation helps to remove any heat that enters the

attic spaces. Together, these components prevent ice dams with a cold roof deck that melts snow and ice evenly.

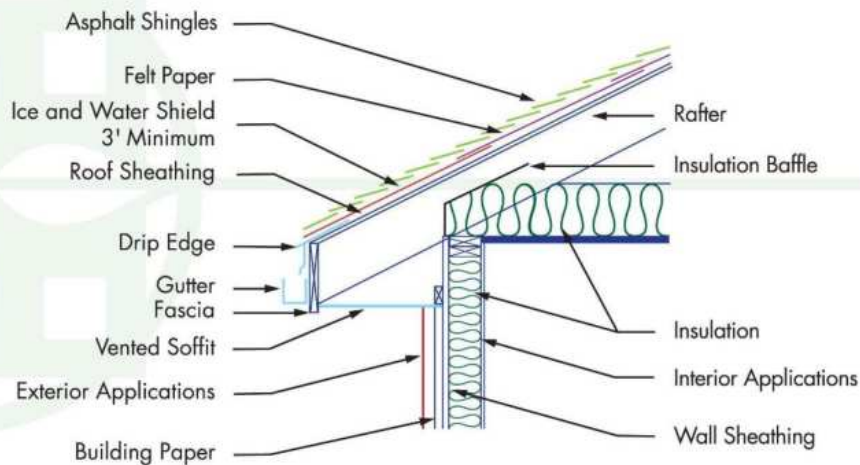
The vents should be clear of debris and not blocked from above by attic insulation. If the soffit vents are blocked from above, installation of polystyrene vent spaces or baffles between the roof joists at these locations can ensure proper ventilation.

Certain characteristics of condition govern the times of replacement. Replacement of an asphalt shingle roof becomes necessary when there are multiple or recurring leaks and when the shingles begin to cup, curl and lift. These conditions are indications that the asphalt shingle roof is near the end of its useful life. Even if the shingles are largely watertight, the infiltration of water in one area can lead to permanent damage to the underlying roof sheathing. This type of deterioration requires replacement of saturated sections of sheathing and greatly increases the cost of roof replacement. Roof leaks may occur from interrelated roof system components, i.e., flashings. Therefore, the warranty period, if any, on the asphalt shingles, may exceed the useful life of the roof system.

Warranties are an indication of product quality and are not a product guarantee. Asphalt shingle product warranties vary from 20- to 50-years and beyond. However, the scope is usually limited to only the material cost of the shingles as caused by manufacturing defects. Warranties may cover defects such as thermal splitting, granule loss, cupping, and curling. Labor cost is rarely included in the remedy so if roof materials fail, the labor to tear off and install new shingles is extra. Other limitations of warranties are exclusions for "incidental and consequential" damages resulting from age, hurricanes, hailstorms, ice dams, severe winds, tornadoes, earthquakes, etc. There are some warranties which offer no dollar limit for replacement at an additional cost (effectively an insurance policy) but again these warranties also have limits and may not cover all damages other than a product defect. We recommend a review of the manufacturers' warranties as part of the evaluation of competing proposals to replace a roof system. This evaluation should identify the current costs of remedy if the roof were to fail in the near future. A comparison of the costs of remedy to the total replacement cost will assist in judging the merits of the warranties.

The following cross-sectional schematic illustrates a typical asphalt shingle roof system although it may not reflect the actual configuration at Emerald Green:

ROOF SCHEMATIC



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Contractors use one of two methods for replacement of sloped roofs, either an overlayment or a tear-off. Overlayment is the application of new shingles over an existing roof. However, there are many disadvantages to overlayment including hidden defects of the underlying roof system, absorption of more heat resulting in accelerated deterioration of the new and old shingles, and an uneven visual appearance. Therefore, we recommend only the tear-off method of replacement. The tear-off method of replacement includes removal of the existing shingles, flashings if required and underlayments.

Preventative Maintenance Notes: We recommend the Association maintain a service and inspection contract with a qualified professional and record all documentation of repairs conducted. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Record any areas of water infiltration, flashing deterioration, damage or loose shingles
 - Implement repairs as needed if issues are reoccurring
 - Trim tree branches that are near or in contact with roof
- As-needed:
 - Ensure proper ventilation and verify vents are clear of debris and not blocked from attic insulation

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our costs for replacement of the asphalt shingle roofs include the aluminum gutters and downspouts.

Roof, EPDM

Line Item: 1.380

Quantity: Approximately 7,100 square feet of ethylene propylene diene monomer (EPDM) roofing

History: Replaced in 2025

Condition: Good overall condition with no significant deterioration evident. Management and the Board do not report any leaks.



EPDM roof overview



EPDM roof overview



EPDM roof overview



EPDM roof overview



EPDM roof overview

Useful Life: 15- to 20-years

Component Detail Notes: EPDM membrane roofing is a synthetic-rubber compound that provides outstanding physical performance properties and weathering characteristics. EPDM is a single-ply roof membrane which is used on flat and low-pitch roofs. Unlike built-up roofing systems, EPDM roofs require a less labor-intensive installation.

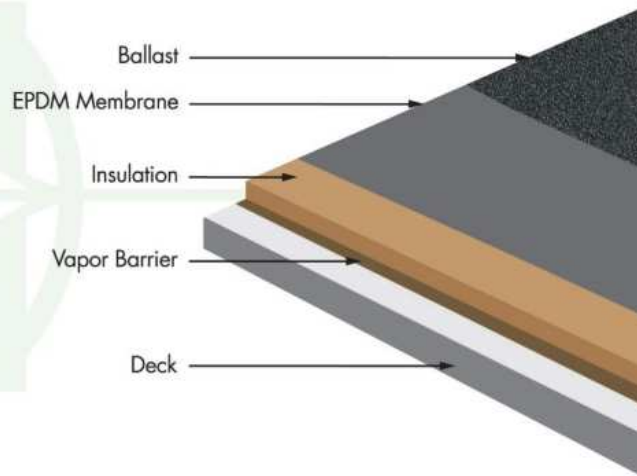
Over time, exposure to ultraviolet light, heat and weather degrade the membrane. This degradation results in membrane damage from thermal expansion and contraction, adverse weather and pedestrian traffic. The aging process makes the membrane less pliable and more difficult to maintain. Ponding water on the roof can increase the effects of ultraviolet light on the membrane and contaminants in ponded water can cause the membrane to deteriorate prematurely.

Contractors can install a new EPDM roof in one of two ways: *tear-off* or an *overlay*. An *overlay* is the application of a new roof membrane over an existing roof. This method, although initially more economical, often covers up problems with the deck, flashing and saturated insulation. The *tear-off* method of replacement includes removal of the existing roofing, flashings and insulation, and installation of a new roofing system.

The contractor should follow the manufacturer's directions and specifications upon installation of the roof. The contractor should remove the original insulation if saturated or compacted and apply a new layer of insulation per the manufacturer's instructions. The insulation should fit loosely with gaps no greater than ¼ inch. Gaps will cause failure of the membrane later. Mechanical fastening of the insulation is the best manner of installation. The contractor should start the installation of a roof membrane from the lowest points of the roof. The exposed top of an EPDM membrane (synthetic rubber) roof system ranges in thickness from 45- to 120-mils but 60 mils is most common. Seams overlap one another with a chemical or thermoset heat weld.

The following detail depicts a typical EPDM roof although it may not reflect the actual configuration at the Association:

EPDM ROOF DETAIL



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Preventative Maintenance Notes: We recommend the Association maintain a service and inspection contract with a qualified professional and record all documentation of repairs conducted. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
 - Note drainage issues with water ponding after 48 hours of rainfall event. Verify scuppers and drains are free of debris. Replace damaged or missing drain covers.
 - Inspect perimeter flashing for loose fasteners, deflections, and sealant damage
 - Verify membrane surface is free of ruptures or damage, and areas of extensive blistering or bubbling
 - Remove oil spills or contaminants from mechanical equipment
 - In areas of possible foot traffic, remove any sharp debris or trash and note areas of crushed insulation
 - If frequency of leaks increase or location of water infiltration is unknown, we recommend the consideration of a thermal image inspection

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Walls, Siding, Engineered Wood, Paint Finishes and Partial Repairs

Line Item: 1.835

Quantity: Approximately 23,300 square feet of engineered wood siding

History: The siding was replaced in 2021 and since the replacement there have been no paint finish applications completed.

Condition: Good to fair overall condition with damage, stains, loose and missing trim, fascia and soffit, and paint finish deterioration evident.



Pool mechanical building siding overview



Loose trim at the pool mechanical building



Damage at the pool mechanical building



Pool house siding overview



Loose soffit at the pool house



Paint finish deterioration at the pool house



Paint finish deterioration at the pool house



Paint finish deterioration at the pool house



Missing soffit at the pool house



Paint finish deterioration at the pool house



Clubhouse siding overview



Clubhouse siding overview



Stains at the clubhouse



Damage at the clubhouse



Damaged siding and trim at the clubhouse



Loose siding at the clubhouse



Damaged siding at the clubhouse



Paint finish deterioration at the clubhouse



Siding overview at the entertainium building



Siding overview at the entertainium building



Siding overview at the entertainium building



Siding overview at the entertainium building



Stains at the entertainium building



Loose trim at the entertainium building



Paint finish deterioration at the entertainium building



Stains at the entertainium building



Missing fascia board at the entertainium building



Stains at the entertainium building

Useful Life: With the benefit of periodic maintenance, applications of this type of material can have a useful life of up to 50 years. This useful life is based on a high-grade pre-finish applied in the factory. This useful life is also dependent upon paint applications and partial replacements up to every six- to eight-years.



Component Detail Notes: Engineered wood siding is made from a combination of wood fibers and resin binders with a moisture resistant overlay. The siding is designed to be lightweight and dimensional stability. A wood grain imprint is typically applied to the exposed surface. Engineer wood siding offers many advantages over other types of siding. These advantages include:

- Capable of withstanding salt spray and ultraviolet rays
- Dimensional stability (will not buckle or warp as easily as other materials)
- Paint applications last longer compared to wood siding

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect and repair damage, loose boards and finishes
 - Periodic pressure cleaning at areas with organic growth
 - Touch-up paint finish applications as needed and sealing of butt joints and field cut end joints

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the Reserve Expenditures table in Section 3. We anticipate the following during each paint application cycle:

- Paint finish application
- Replacement of up to three percent (3%) of the siding (The exact amount of material in need of replacement will depend on the actual future conditions and desired appearance. We recommend replacement wherever cracks, delamination and deterioration impair the ability of the material to prevent water infiltration.)
- Replacement of up to fifty percent (50%) of the total sealants

Walls, Siding, Plywood

Line Item: 1.855

Quantity: Approximately 1,300 square feet of the exterior walls at the maintenance building

History: Unknown age

Condition: Fair overall condition with warp, deterioration and finish fade.



Wood siding at the maintenance building



Wood siding at the maintenance building



Wood siding at the maintenance building

Useful Life: Up to 35 years. However, failure to conduct paint applications and repairs in a timely manner will reduce the remaining useful life of the siding.

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect and repair damage, loose siding and finish stains
 - Ensure at least one inch clearance between siding and roof and ground surfaces (Plywood absorbs storm water at panel edge surfaces)
 - Touch-up paint finishes as necessary to ensure a uniform finish in between complete finish applications

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Interior Building Elements

Clubhouse, Interior, Renovations

Line Items: 2.185 and 2.186

Quantity: The clubhouse interior components include:

- Floor coverings: Vinyl floor
- Wall finishes: Wood wall coverings and paint
- Ceiling finishes: Acoustical ceiling tiles
- Furnishings
- Light fixtures
- Kitchenette
- Fireplace

History: Renovated in 2021

Condition: Good overall condition with no significant deterioration



Clubhouse interior overview



Clubhouse interior overview



Clubhouse interior overview



Kitchenette



Acoustical ceiling tiles



Television

Useful Life: Complete renovation up to every 25 years and partial renovation up to every 12 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. The complete renovation should include replacement of all components listed above and the partial renovations should include the following:

- Paint finishes
- Replacement of the laminate flooring
- Replacement of up to fifty percent (50%) of the furnishings

Clubhouse, Restrooms, Renovation

Line Item: 2.195

Quantity: The clubhouse restroom components include:

- Floor coverings: Tile
- Wall finishes: Tile and Paint
- Ceiling finishes: Paint
- Light fixtures
- Plumbing fixtures

History: Unknown age

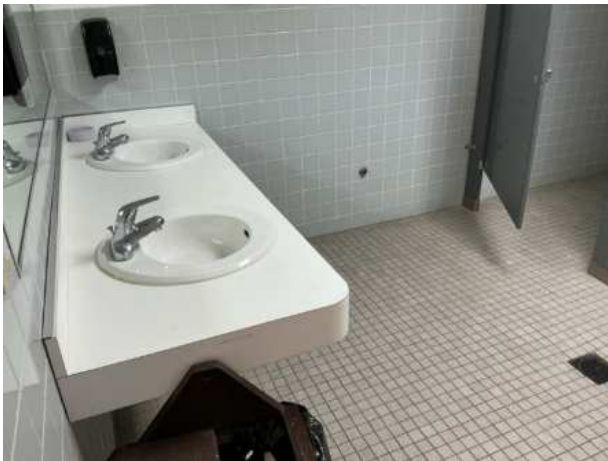
Condition: Fair overall condition with dated components, stains, and deterioration evident.



Rest room at the clubhouse



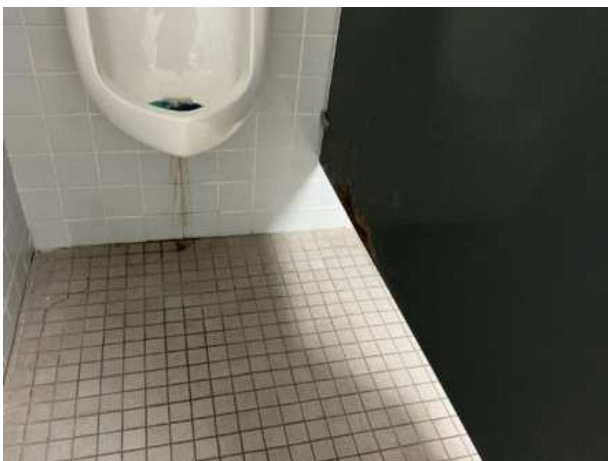
Rest room fixtures at the clubhouse



Rest room at the clubhouse



Rest room fixtures at the clubhouse



Stains



Stains

Useful Life: Renovation up to every 25 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Entertainium Building, Elevator Cab Finishes

Line Item: 2.197

Quantity: One elevator at the entertainium building; the cab finishes consist of:

- Carpet floor coverings
- Wood panel wall coverings
- Metal ceiling coverings

History: Installed in 2021

Condition: Good overall condition with no significant deterioration



Carpet floor coverings



Wood panel walls and metal ceiling coverings

Useful Life: Up to 20 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Entertainium Building, Exercise Room, Equipment

Line Item: 2.198

Quantity: The exercise room contains the following types of cardiovascular aerobic training equipment:

- Ellipticals
- Stationary cycles
- Steppers
- Treadmills
- Televisions

The exercise room contains the following types of strength training equipment:

- Weight benches
- Dumbbells
- Weight training
- Weight machines

History: Replaced in 2021.

Conditions: Good overall condition with no significant deterioration



Exercise equipment



Exercise equipment

Useful Life: The useful life of the exercise equipment is 5- to 15-years.

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Entertainium Building, Exercise Room, Renovation

Line Item: 2.199

Quantity: The exercise room components include:

- Floor coverings: Rubber
- Wall finishes: Paint
- Ceiling finishes: Paint
- Light fixtures
- Furnishings

History: Renovated in 2021

Condition: Good overall condition with no significant deterioration



Exercise room overview



Exercise room overview



Rubber floor coverings

Useful Life: Renovation up to 20 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Entertainium Building, Floor Coverings, Rubber, Track

Line Item: 2.205

Quantity: Approximately 240 square yards of elevated rubber track

History: Installed in 2021

Condition: Good to fair overall condition with minor wear evident



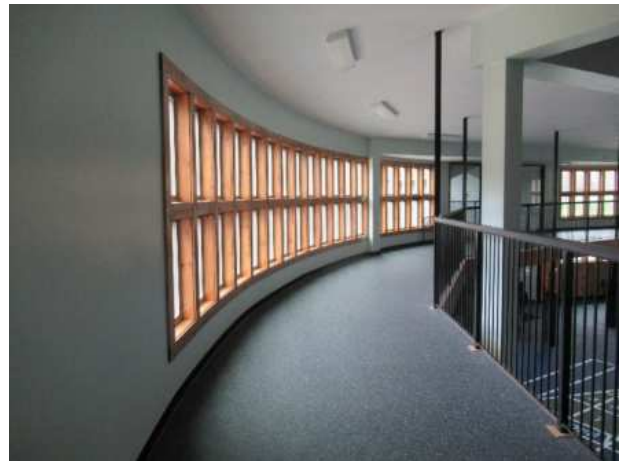
Rubber track



Rubber track



Rubber track



Rubber track

Useful Life: 10- to 15-years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Entertainium Building, Floor Coverings, Sports Courts

Line Item: 2.210

Quantity: Approximately 820 square yards at the sports courts

History: Dates to 2021

Condition: Good to fair overall condition with scuffs, damage and deterioration evident.



Sports court overview



Sports court overview



Scuffs and finish deterioration



Scuffs and finish deterioration

Useful Life: 8- to 12-years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Entertainium Building, Interior, Renovations

Line Items: 2.212 and 2.214

Quantity: The interior components at the entertainium, building include:

- Floor coverings: Carpet
- Wall finishes: Paint
- Ceiling finishes: Paint
- Furnishings
- Light fixtures

History: Dates to 2021

Condition: Good overall condition with no significant deterioration



Lobby area



Lobby area



Meeting room



Carpet floor coverings



Lobby area



Offices



Meeting room



Meeting room



Furnishings

Useful Life: Complete renovation up to every 25 years and partial renovation up to every 12 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. The complete renovation should include replacement of all components listed above and the partial renovations should include the following:

- Replacement of the carpet
- Paint finish application
- Replacement of up to fifty percent (50%) of the furnishings

Entertainium Building, Locker Rooms, Renovation

Line Item: 2.215

Quantity: Two each. The locker room components include:

- Floor coverings: Tile

- Wall finishes: Tile and Paint
- Ceiling finishes: Paint
- Lockers
- Light fixtures
- Plumbing fixtures

History: Dates to 2021

Condition: Good overall condition with no significant deterioration



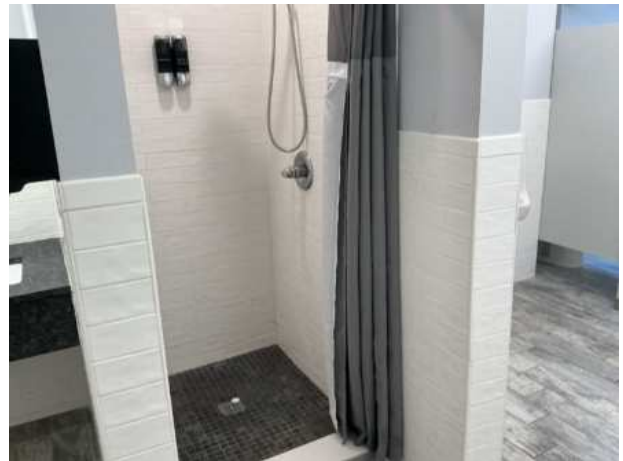
Locker room overview



Locker room overview



Fixtures



Shower cubicle



Tile floor coverings



Lockers

Useful Life: Renovation up to every 25 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Entertainium Building, Rest Rooms, Renovations

Line Item: 2.216

Quantity: The rest room components include:

- Floor coverings: Tile
- Wall finishes: Paint
- Ceiling finishes: Paint
- Light fixtures
- Plumbing fixtures

History: Dates to 2021

Condition: Good overall condition with no significant deterioration.



Rest room overview



Rest room overview



Tile floor coverings

Useful Life: Renovation up to every 25 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Pool House, Interior, Renovation

Line Items: 2.220 and 2.222

Quantity: The pool house interior components include:

- Floor coverings: Carpet and concrete
- Wall finishes: Paint
- Ceiling finishes: Paint
- Furnishings
- Light fixtures

History: Dates to 2021

Condition: Good overall condition with no significant deterioration



Pool house interior overview



Pool house interior overview



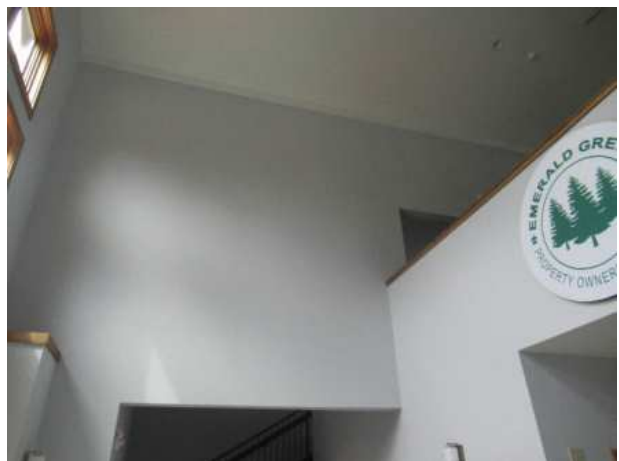
Pool house interior overview



Pool house interior overview



Pool house interior overview



Pool house interior overview



Carpet floor coverings

Useful Life: Complete renovation up to every 25 years and partial renovation up to every 12 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. The complete renovation should include replacement of all components listed above and the partial renovations should include the following:

- Replacement of the carpet
- Paint finishes
- Replacement of up to fifty percent (50%) of the furnishings

Pool House, Locker Rooms, Renovation

Line Item: 2.224

Quantity: Two each. The locker room components include:

- Floor coverings: Concrete
- Wall finishes: Paint and tile
- Ceiling finishes: Paint
- Lockers
- Light fixtures
- Plumbing fixtures

History: Dates to 2021

Condition: Good overall condition with no significant deterioration



Pool house locker room overview



Pool house locker room overview



Pool house locker room overview



Pool house locker room overview

Useful Life: Renovation up to every 25 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Building Services Elements

Air Handling and Condensing Units

Line Items: 3.070, 3.071 and 3.072

Quantity, History and Condition:

Clubhouse, Split System: One split system, dates to 2026, reported satisfactory without operational deficiencies.

Entertainium building, Mini-Split Systems: 10 mini-split systems, dates to 2021, reported satisfactory without operational deficiencies.

Pool house, Mini-Split Systems: 4 mini-split systems, dates to 2021, reported satisfactory without operational deficiencies.



Mini-split condensing units at the pool house



Mini-split condensing units at the pool house



Mini-split air handling units at the pool house



Mini-split condensing units at the Entertainium building



Mini-split air handling units at the Entertainium building



Mini-split condensing units at the Entertainium building



Mini-split air handling units at the Entertainium building



Condensing unit at the clubhouse

Useful Life: 15- to 20-years

Preventative Maintenance Notes: The required preventative maintenance may vary in frequency and scope based on the unit's age, operational condition, or changes in technology. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
 - Lubricate motors and bearings
 - Change or clean air filters as needed
 - Inspect condenser base and piping insulation
 - Inspect base pan, coil, cabinet and clear obstructions as necessary
- Annually:
 - Clean coils and drain pans, clean fan assembly, check refrigerant charge, inspect fan drive system and controls
 - Inspect and clean accessible ductwork as needed
 - Clean debris from inside cabinet, inspect condenser compressor and associated tubing for damage

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. The condensing unit may require replacement prior to replacement of the related interior forced air unit. For purposes of this Reserve Study, we assume coordination of replacement of the interior forced air unit, evaporator coil, refrigerant lines and exterior condensing unit.

Elevator, Hydraulic, Pump and Controls

Line Item: 3.320

Quantity: One Otis hydraulic passenger elevator

History: Replaced in 2022.

Condition: Reported satisfactory without operational deficiencies.



Elevator components



Elevator components

Useful Life: Pumps and controls have a useful life of up to 30 years. Cylinders have a useful life of up to and likely beyond 45 years.

Component Detail Notes: Major components in a hydraulic elevator system include the pump, controls, cylinder, fluid reservoir and a valve between the cylinder and reservoir. Once activated by the elevator controls, the pump forces hydraulic fluid from the reservoir into the cylinder. The piston within the cylinder rises lifting the elevator cab. The elevator cab lowers at a controlled rate when the controls open the valve.

Preventative Maintenance Notes: The required preventative maintenance may vary in frequency and scope based on the unit's age, operational condition, or changes in technology. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Ongoing:
 - Maintain a maintenance contract with a qualified professional for the elevator(s) and follow the manufacturer's specific recommended maintenance plan adhering to local, state, and/or federal inspection guidelines
- As-needed:
 - Keep an accurate log of all repairs and inspection dates
 - Inspect and adjust misaligned door operators
 - Check for oil leaks or stains near the pump housing and confirm oil levels are adequate
 - Clear and remove any items located in the elevator machine room(s) not associated with the elevator components (These rooms should never be used for storage)
 - Lubricate the hydraulic cylinders
 - Inspect electrical components for signs of overheating or failure
 - Inspect spring buffers in elevator pit for signs of corrosion or loose attachments



- Ensure air temperature and humidity of machine/pump housing room meets the designated specified range for proper operation
- Ensure all call buttons are in working condition
- Check elevator cabs for leveling accuracy to prevent tripping hazards

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We anticipate the following hydraulic elevator system components will require replacement:

- Cab control panel
- Door operator
- Hallway panels/buttons
- Microprocessor based controllers
- Pump (Power Unit)

These costs may vary based on the desired scope of the actual replacements, changes in technology and requirements of local codes or ordinances at the actual times of replacements. However, we judge our estimated costs sufficient to budget appropriate reserves at this time. The Association should require the contractor to verify that elevator component replacements include all of the necessary features for the latest in elevator code compliance.

Life Safety System, Control Panel and Emergency Devices

Line Items: 3.555 and 3.560

Quantity: The life safety system at Emerald Green includes components located within the Clubhouse, Entertainium Building, and Pool House, including the following:

- Control panels
- Detectors
- Pull Stations
- Audio/Visual Fixtures
- Wiring

History: The life safety systems were replaced in 2021.

Conditions: Reported satisfactory without operational deficiencies.



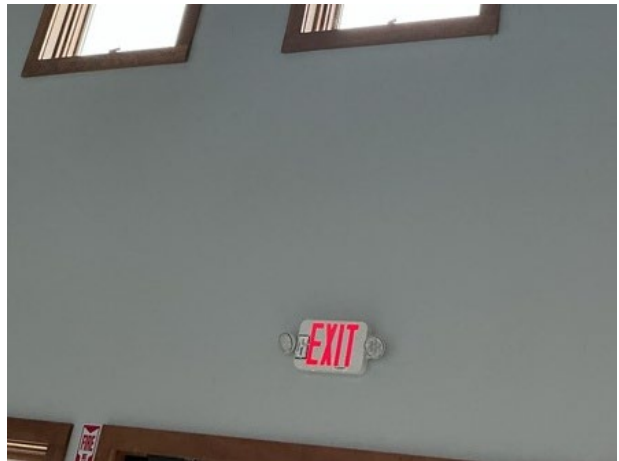
Control panel at the clubhouse



Emergency devices at the clubhouse



Control panel at the pool house



Emergency devices at the pool house



Emergency devices at the Entertainium building



Emergency devices at the Entertainium building

Useful Life: Up to 25 years for the devices and up to 15 years for the control panels

Preventative Maintenance Notes: We recommend the Association obtain and adhere to the manufacturer's recommended maintenance plan. In accordance with *NFPA 72* (National Fire Alarm and Signaling Code) we also recommend the Association maintain a maintenance contract with a qualified professional. The display panel read 'System is



Normal' at the time of our inspection. The required preventative maintenance may vary in frequency and scope based on the age of the components, operational condition, or changes in technology. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
 - Inspect and test all components and devices, including, but not limited to, control panels, annunciators, detectors, audio/visual fixtures, signal transmitters and magnetic door holders
 - Test backup batteries
- As-needed:
 - Ensure clear line of access to components such as pull stations
 - Ensure detectors are properly positioned and clean of debris

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Changes in technology or building codes may make a replacement desirable prior to the end of the functional life. Our estimate of future cost considers only that amount necessary to duplicate the same functionality. Local codes or ordinances at the actual time of replacement may require a betterment as compared to the existing system. A betterment could result in a higher, but at this time unknown, cost of replacement.

Security Systems

Line Items: 3.821 and 3.822

Quantity: Emerald Green utilizes the following security system components:

- Cameras
- Multiplexers
- Recorders

History: Most date to 2021 with additional cameras added in approximately 2025

Condition: Reported satisfactory without operational deficiencies



Typical cameras

Useful Life: Up to 15 years

Preventative Maintenance Notes: We recommend the Association obtain and adhere to the manufacturer's recommended maintenance plan. The required preventative maintenance may vary in frequency and scope based on the unit's age, operational condition, or changes in technology. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Monthly:
 - Check cameras for proper focus, fields of view are unobstructed and camera and lenses are clean and dust-free
 - Check recording equipment for proper operation
 - Verify monitors are free from distortion with correct brightness and contrast
- Annually:
 - Check exposed wiring and cables for wear, proper connections and signal transmission
 - Check power connections, and if applicable, functionality of battery power supply systems

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Property Site Elements

Asphalt Pavement

Line Items: 4.020, 4.040, and 4.041

Quantity: The Association is responsible for approximately 14,300 square yards of asphalt pavement, including approximately 9,700 square yards located at the access drives, parking areas, and walking paths surrounding the Entertainmentium and clubhouse

areas, and approximately 4,600 square yards located at the parking areas and walking paths at the pool house.

History:

- Repaving: The Association informs us the subbase and binder course were installed in 2021 and plan to add the top wear course in 2026 at both the entertainium/ clubhouse access drive, parking areas and walking paths and the pool house parking areas.
- Repairs: No repairs to date

Condition: Fair overall condition with cracks observed and no asphalt wear course installed at the time of inspection. The Association informs of plans to install the final wear course in 2026.



**Main access drive to the Entertainium/
clubhouse area**



**Main access drive to the Entertainium/
clubhouse area**



**Main access drive to the Entertainium/
clubhouse area**



**Main access drive to the Entertainium/
clubhouse area**



**Main access drive to the Entertainment/
clubhouse area**



**Main access drive to the Entertainment/
clubhouse area**



Cracks



Cracks and deterioration



Asphalt walking paths



Asphalt walking paths



Upper parking area near clubhouse



Upper parking area near clubhouse



Upper parking area near clubhouse



Upper parking area near clubhouse



Upper parking area near clubhouse



Upper parking area near clubhouse



Pool house parking area overview



Cracks at the pool house parking area



Pool house parking area overview



Pool house parking area overview



Cracks at the pool house parking area



Cracks at the pool house parking area



Cracks at the pool house parking area



Cracks at the pool house parking area

Useful Life: 15- to 20-years with the benefit of crack repairs, patching and striping every three- to five-years

Component Detail Notes: Proposals should include mechanically routing and filling all cracks with hot emulsion. Repairs should also include patching at areas exhibiting settlement, potholes, or excessive cracking.

The initial installation of asphalt uses at least two lifts, or two separate applications of asphalt, over the base course. The first lift is the binder course. The second lift is the wearing course. The wearing course comprises a finer aggregate for a smoother, more watertight finish. The following diagram depicts the typical components although it may not reflect the actual configuration at Emerald Green:



The manner of repaving is either a mill and overlay or total replacement. A mill and overlay is a method of repaving where cracked, worn and failed pavement is mechanically removed or milled until sound pavement is found. A new layer of asphalt is overlaid atop the remaining base course of pavement. Total replacement includes the removal of all existing asphalt down to the base course of aggregate and native soil followed by the application of two or more new lifts of asphalt. We recommend mill and overlayment on asphalt pavement that exhibits normal deterioration and wear. We recommend total replacement of asphalt pavement that exhibits severe deterioration, inadequate drainage, pavement that has been overlaid multiple times in the past or where the configuration makes overlayment not possible. Based on the apparent visual condition and configuration of the asphalt pavement, we recommend the mill and overlay method of repaving at Emerald Green.

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect for settlement, large cracks and trip hazards, and ensure proper drainage
 - Repair areas which could cause vehicular damage such as potholes
- As needed:
 - Perform crack repairs and patching

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our costs and timing are based on the information provided to us by the Association.

Bridges, Wood, Replacement

Line Item: 4.120

Quantity: The Association is responsible for one pedestrian wood bridge located above the Lake Davis spillway, comprising approximately 400 square feet of bridge decking and approximately 100 linear feet of wood railings.

History: Unknown age

Condition: Poor overall condition with weathered wood, finish deterioration, rust at the metal framing, partial repairs and warps evident.



Wood bridge overview



Wood bridge overview



Wood decking



Partial repairs



Finish deterioration



Bridge structure



Rust at the metal columns

Useful Life: 15- to 25-years. The rates and types of deterioration are not uniform due to the nature of wood. Replacement is normally an ongoing process which eventually leads to a complete replacement for economic or aesthetic reasons.

Component Detail Notes: Bridge construction includes the following:

- Wood deck boards
- Wood railings with horizontal pickets
- Metal column footings
- Metal stingers

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect to identify and correct any unsafe conditions
 - Secure loose fasteners and replace deteriorated fasteners
 - Replace deteriorated wood components
 - Check railing stability and fasteners
- Every three years:
 - Power wash with algaecide and application of sealer/stain if applicable

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the Association budget for paint applications and repairs through the operating budget.

Dams and Spillways

Line Items: 4.185 and 4.186

Quantity: The Association is responsible for one earthen dam and concrete spillway at Lake Davies, as well as one earthen dam and concrete spillway at Lake Louise Marie.

History: The concrete spillway at Lake Louise Marie was added in approximately 2016 and the earthen dam and concrete spillway at Lake Davies is unknown age.

Condition: The dam and spill way on Lake Louise Marie is reported in satisfactory condition. During our inspection we did observe areas of deterioration to the concrete at the bases of the railings. The Lake Davies dam and spillway are reported to be in unsatisfactory condition, with observed weeping and damp areas along the landscaped side of the embankment that may indicate seepage and drainage deficiencies. The Association is currently soliciting proposals for corrective repairs and plans to complete the work in 2026. Due to the non-invasive nature of our inspection, we rely on known conditions, historic information and inspections to recommend future reserve projects.



Concrete spillway at Lake Louise Marie



Concrete spillway at Lake Louise Marie



Earthen dam at Lake Louise Marie



Earthen dam at Lake Louise Marie



Cracked concrete at the railings



Earthen dam at Lake Louise Marie



Earthen dam at Lake Davies



Earthen dam at Lake Davies



Concrete spillway at Lake Davies



Concrete spillway at Lake Davies Note concrete deterioration and cracks



Concrete spillway at Lake Davies



Concrete spillway at Lake Davies – Note concrete deterioration

Useful Life: Under normal best management practices which include periodic independent condition assessments and related repairs, we do not foresee the need for replacement/re-building of the dam during the next 30 years. However, the Association should plan for periodic inspections and capital repairs to the dam. We recommend the Association inspect the upstream and downstream sides of the dam, and conduct any necessary repairs to the dam every 10- to 15-years. More frequent inspections as normal maintenance may be necessary depending on the findings of invasive condition assessments and state/local regulations. Capital repairs can include, but are not limited to, the following activities:

- Inspections to the entire dam including upstream and downstream slopes
- Removal of woody vegetation
- Filling of rodent burrows
- Clearing of spillway obstructions
- Repairs to inlet/outlet pipes and structures

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. The timing and cost of these activities may vary and is dependent on future findings at the time of inspections. Updates to this reserve study will revisit the conditions, cost and timing based on future discussions with Management and the Board as the dam ages.

Fences, Aluminum, Near Dam

Line Item: 4.200

Quantity: 560 linear feet of aluminum fence, this quantity includes the section of chain link fence near the boat storage.

History: Unknown age

Condition: Fair overall condition; however we note damage to the fence from a vehicle collision. The board informs us repairs will take place in the near future funded outside of reserves.



Aluminum fence



Aluminum fence



Aluminum fence



Aluminum fence



Fence damage due to vehicle collision



Chain link fence near boat storage

Useful Life: Up to 25 years (The useful life of the finish is indeterminate. Future updates of this Reserve Study will again consider the need to refinish the railings based on condition.)

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect and repair loose fasteners or sections, and damage
 - Repair leaning sections and clear vegetation from fence areas which could cause damage

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Fences, Chain Link

Line Item: 4.220

Quantity: 580 linear feet of chain link fence at the dog park and on top of the masonry wall near the Entertainmentium building

History: Installed in 2021

Condition: Good to fair overall condition



Chain link fence at the dog park



Chain link fence at the dog park



Chain link fence on top of the masonry wall



Chain link fence on top of the masonry wall

Useful Life: Up to 25 years

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect and repair loose sections, and damage
 - Repair leaning sections and clear vegetation from fence areas which could cause damage

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Gate Entry Systems

Line Item: 4.310

Quantity: Three gate entry systems

History: Replaced within the last year

Condition: Reported in satisfactory operating conditions



Main entrance gate



Operator



Gate at boat launch



Operator

Useful Life: 10- to 15-years

Preventative Maintenance Notes: We recommend the Association obtain and adhere to the manufacturer's recommended maintenance plan. The required preventative maintenance may vary in frequency and scope based on the unit's age, operational condition, or changes in technology. We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Monthly:
 - Inspect panel for damage and ensure the panel is mounted securely, tighten or replace any loose or damaged fasteners.
 - Inspect panel for proper operation of buttons, displays, microphone and speaker.
- Annually:
 - Check power connections, and if applicable, functionality of battery power supply systems

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Gazebo

Line Item: 4.360

Quantity: One each located near the clubhouse

History: Unknown age

Condition: Fair overall condition with weathered wood and deterioration evident.



Gazebo overview



Structure detail



Wood deck boards – note deterioration



Finish deterioration



Wood deck boards – note deterioration

Useful Life: Up to 25 years with periodic maintenance

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the Association budget for paint applications and repairs through the operating budget.

Landscaping

Line Item: 4.500

Component Detail Notes: The Association contains a large quantity of trees, shrubbery and other landscape elements. Replacement of these elements is an ongoing need. Many associations budget for these replacements as normal maintenance. Other associations fund ongoing replacements from reserves. Large amounts of landscape may need replacement due to disease, drought or other forces of nature. If the cost of removal and replacement is substantial, funding from reserves is logical. The Association may also desire to periodically update the appearance of the community through major improvements to the landscape.

Useful Life: At the request of Management, we include a landscape allowance for partial replacements every 10 years.

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Light Poles and Fixtures

Line Items: 4.560 and 4.561

Quantity: Approximately 22 light poles and fixtures at the pool house parking area and the lower entrance drive and approximately four light poles and fixtures at the upper lot near the clubhouse.

History: The light poles and fixtures at the pool house parking area and the lower entrance drive were replaced in 2021. The light poles and fixtures at the upper lot near the clubhouse are of unknown age.

Condition: The light poles and fixtures at the pool house parking area and lower entrance drive are in good overall condition. The light poles and fixtures at the upper lot near the clubhouse are in fair to poor overall condition with leaning poles, dated fixtures and deterioration evident.



Light poles and fixtures at the main entrance way



Light poles and fixtures near the clubhouse



Light poles and fixtures at the pool house



Light poles and fixtures at the pool house



Light pole and fixture at the upper lot by the clubhouse



Light pole and fixtures at the upper lot by the clubhouse



Leaning pole

Useful Life: Up to 25 years

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- As-needed:
 - Inspect and repair broken or dislodged fixtures, and leaning or damaged poles
 - Replaced burned out bulbs as needed

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Playground Equipment and Safety Surface

Line Items: 4.660 and 4.661

Quantity: Playground equipment includes the following elements:

- Playsets
- Swing sets
- Rubber mulch play surface with a plastic border

History: The playground near the pool house dates to 2021 and the playground by the clubhouse is of unknown age.

Condition: The playground at the pool house is in good overall condition and the playground near the clubhouse is in fair overall condition with rusted chains, weathered wood and deterioration evident.



Playground near pool house



Playground near pool house



Playground near pool house



Playground near pool house



Swing set near pool house



Playground near pool house



Playground near clubhouse



Playground near clubhouse



Rusted chain



Weathered wood components

Useful Life: 15- to 20-years

Component Detail Notes: Safety is the major purpose for maintaining playground equipment. We recommend an annual inspection of the playground equipment to identify and repair as normal maintenance loose connections and fasteners or damaged

elements. We suggest the Association learn more about the specific requirements of playground equipment at PlaygroundSafety.org. We recommend the use of a specialist for the design or replacement of the playground equipment environment.

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect and repair loose connections and fasteners or damaged elements
 - Inspect for safety hazards and adequate coverage of ground surface cover

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We include an allowance in the unit cost for replacement of the safety surface and border.

Retaining Wall, Concrete

Line Item: 4.736

Quantity: 560 square feet

History: Unknown age

Condition: Fair to poor overall condition with extensive cracks, spalling, scaling, leaning sections and deterioration evident.



Concrete retaining wall



Concrete retaining wall



Cracks and deterioration



Leaning section and deterioration



Concrete retaining wall



Cracks and deterioration

Useful Life: Concrete retaining walls have indeterminate useful lives.

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Retaining Walls, Masonry

Line Items: 4.740 and 4.742

Quantity: 1,800 square feet of masonry walls near the clubhouse and 2,900 square feet of masonry walls at the pool house and beach.

History: The wall at the clubhouse was installed in 2025 and the walls at the pool house and beach were installed in 2021

Condition: Good overall condition with no significant deterioration evident



Masonry wall at the clubhouse



Masonry wall at the clubhouse



Masonry walls at the pool house and beach



Masonry walls at the pool house and beach



Masonry walls at the pool house and beach



Masonry walls at the pool house and beach



Masonry walls at the pool house and beach



Masonry walls at the pool house and beach

Useful Life: Masonry retaining walls have indeterminate useful lives. However, we recommend the Association plan for inspections and capital repairs every 10- to 15-years to forestall deterioration.

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimated cost of repairs include for replacement of up to ten percent (10%) of the walls.

Septic Systems

Line Item: 4.780

History: The septic systems were replaced in 2021 at the Entertainium building and the pool house building.

Condition: Reported in satisfactory condition

Useful Life: Wastewater pipes and septic tanks have indeterminately long useful lives. Therefore, we do not anticipate replacement during the next 30 years. Due to eventual soil saturation and the inability of the soil to treat the wastewater, the drain field has a useful life of up to 30years. However, this useful life can vary depending on maintenance, use of the system, the type of soil and maintenance or removal of surrounding vegetation over the drain fields.

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect the septic tank
 - Monitor use of water. High water use may overload the septic system and decrease the system's efficiency.
 - Ensure proper disposal of elements in the septic system

- Clean and replace filter as needed
- Ensure downspouts, sump pumps and other storm water conveying systems direct storm water away from the drainage field to prevent saturation. Once the soil of the drain field is saturated, the septic system will no longer function and the result is saturated turf with standing wastewater.
- Every three years:
 - Pumping of the septic tank

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimate of future cost considers only that amount necessary to duplicate the same functionality of the existing drain field. Local codes or ordinances at the actual time of replacement may require a betterment as compared to the existing system. A betterment could result in a higher but at this time unknown greater cost of replacement. We recommend the Association contract with the appropriate entity for the design, estimated cost and implementation of a new drain field at the time of replacement.

Shed, Replacement

Line Item: 4.782

Quantity: One shed located near the maintenance building

History: Unknown age

Condition: Fair to poor overall condition with damage, warps, paint finish deterioration and missing wood trim evident.



Shed overview



Shed overview



Wood damage and deterioration



Wood damage and deterioration



Missing wood trim

Useful Life: Up to 25 years with periodic maintenance

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the Association budget for paint applications and repairs through the operating budget.

Sport Courts, Fences

Line Items: 4.840, 4.846, 4.858 and 4.864,

Quantity, History and Condition:

- **Basketball Court:** 230 linear feet, replaced in 2021, good overall condition
- **Pickleball Court:** 250 linear feet, replaced in 2021, good overall condition
- **Tennis Courts, Clubhouse:** 910 linear feet, replaced in 2021, good overall condition

- **Tennis Court, Pool House:** 470 linear feet, unknown age, fair overall condition with rust, deterioration and warped webbing evident.



Basketball fence overview



Basketball fence overview



Pickleball fence overview



Pickleball fence overview



Tennis court fence at the pool house



Tennis court fence at the pool house



Tennis court fence at the clubhouse



Tennis court fence at the clubhouse



Tennis court fence at the clubhouse – note rust



Tennis court fence at the clubhouse – Note warped webbing



Tennis court fence at the clubhouse – note rust and warped webbing

Useful Life: Up to 25 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Sport Courts, Surface

Line Items: 4.842 through 4.868

Quantity, History and Condition:

- **Basketball Court:** 2,960 square feet of asphalt comprising one basketball courts, the surface was replaced in 2021 and no color coat application has been completed since resurfacing, good to fair overall condition with cracks, patches, color coat deterioration and stains evident.
- **Pickleball Court:** 3,520 square feet of asphalt comprising two pickleball courts, the surface was replaced in 2021 and no color coat application has been completed since resurfacing, good to fair overall condition with minor cracks and stains evident.
- **Racquetball/Handball Court:** 3,540 square feet of asphalt comprise the racquetball/handball court, unknown age, fair overall condition with crack, settlement, color coat deterioration and stains evident.
- **Tennis Courts, Clubhouse:** 26,000 square feet of asphalt comprising four tennis courts, the surface was replaced in 2021 and no color coat application has been completed since resurfacing, good to fair overall condition with cracks, color coat deterioration and stains evident.
- **Tennis Courts, Pool House:** 13,540 square feet of asphalt comprising two tennis courts, the surface was replaced in 2021 and no color coat application has been completed since resurfacing, good to fair overall condition with cracks, color coat deterioration and stains evident.



Basketball court overview



Cracks at the basketball court



Patch repair and cracks at the basketball court



Stains at the basketball court



Stains and cracks at the basketball court



Stains and color coat deterioration at the basketball court



Tennis court overview at the clubhouse



Tennis court overview at the clubhouse



Cracks at the Tennis court at the clubhouse



Stains at the Tennis court at the clubhouse



Pickleball court overview



Stains at the pickleball court



Tennis court overview at the pool house



Tennis court overview at the pool house



Tennis court overview at the pool house



Stains at the tennis court at the pool house



Cracks at the tennis court at the pool house



Cracks at the tennis court at the pool house

Useful Life: Up to 25 years for replacement of the surface with the benefit of color coat applications and repairs every four- to six-years

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect and repair large cracks, trip hazards and possibly safety hazards
 - Verify gate and fencing is secure
 - Verify lighting is working properly if applicable
 - Inspect and repair standards and windscreens as needed

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Sport Court, Raquetball / Handball, Wall, Repairs and Restoration

Line Item: 4.856

Quantity: One racquetball/handball wall

History: Unknown age

Condition: Fair overall condition with crack, finish deterioration, stains and leaning sections evident.



Raquetball / handball wall



Raquetball / handball wall



Cracks and finish deterioration



Cracks and finish deterioration



Cracks and finish deterioration

Useful Life: Up to 25 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Maintenance Equipment and Vehicle Elements

Maintenance Equipment and Vehicles

Line Items: 5.001 through 5.004

Component Detail Notes: Emerald Green maintains several pieces of equipment and vehicles to maintain the community. Specific discussion of each piece of equipment is beyond the scope of this study. For budgetary purposes, we reviewed the age, condition and remaining useful lives of each piece of equipment and vehicle with Management to determine the estimate times of replacements based on existing use and condition.



Weed Boat



Chevy F350 Truck



John Deere tractor

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Pool Elements



Pool overview

Deck, Concrete

Line Item: 6.200

Quantity: 6,400 square feet of concrete deck

History: Installed in 2021

Condition: Good to fair overall condition with isolated cracks evident.



Concrete deck overview



Concrete deck overview



Concrete deck overview



Concrete deck overview



Cracks

Useful Life: The useful life of a concrete pool deck is up to 60 years or more with timely repairs. We recommend the Association conduct inspections, partial replacements and repairs to the deck every 8- to 12-years.

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
 - Inspect and repair large cracks, trip hazards, and possible safety hazards
 - Inspect and repair pool coping for cracks, settlement, heaves or sealant deterioration
 - Repair concrete spalling
 - Schedule periodic pressure cleanings as needed

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the Association budget for the following per event:

- Selective cut out and replacements of up to of concrete
- Crack repairs as needed
- Mortar joint repairs
- Caulk replacement

Fences, Chain Link

Line Item: 6.400

Quantity: 920 linear feet of chain link fence surround the pool area. This quantity includes the fence near the docks.

History: Installed in 2021

Condition: Good overall condition



Chain link fence



Chain link fence



Chain link fence



Chain link fence



Fence near the docks

Useful Life: Up to 25 years

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect and repair loose sections, and damage
 - Repair leaning sections and clear vegetation from fence areas which could cause damage

Priority: Not recommended to defer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3.

Furniture

Line Item: 6.500

Quantity: The pool furniture includes the following:

- Chairs
- Lounges
- Tables
- Umbrellas
- Ladders and life safety equipment

History: Date to 2021

Condition: Good overall condition with no significant deterioration.



Furniture



Furniture



Furniture

Useful Life: Up to 12 years

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend interim re-strapping, refinishing, cushion replacements, reupholstering and other repairs to the furniture as normal maintenance to maximize its useful life.

Mechanical Equipment

Line Item: 6.600

Quantity: The mechanical equipment includes the following:

- Automatic chlorinator and controls
- Electrical panels
- UV treatment
- Interconnected pipe, fittings and valves

- Pumps, filters and heaters

History: Installed in 2021

Condition: Reported satisfactory without operational deficiencies. Management informs us of minor repairs since installation.



Pool mechanical equipment



Pool mechanical equipment



Pool mechanical equipment



Pool mechanical equipment



Pool heaters



Pool mechanical equipment



Pool electrical



UV treatment

Useful Life: Up to 15 years

Preventative Maintenance Notes: We recommend the Association maintain a maintenance contract with a qualified professional and follow the manufacturer's specific recommended maintenance and local, state and/or federal inspection guidelines.

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the Reserve Expenditures table in Section 3. We consider interim replacement of motors and minor repairs as normal maintenance.

Pavillion, Wood, Renovation

Line Item: 6.699

Quantity: One wood pavilion with asphalt shingle roof located near the pools comprise approximately 2,100 square feet.

History: Unknown age

Condition: Fair overall condition with missing shingles, stains deterioration at the asphalt shingle roof and weathered wood and paint finish deterioration at the wood structure.



Pavilion overview



Asphalt shingle roof overview



Pavilion structure detail



Missing shingles and deterioration

Useful Life: Up to 25 years with periodic maintenance

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect for wood deterioration, and loose or missing fasteners
- Every three years:
 - Power wash with algaecide and application of sealer/stain

Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the Association budget for paint applications and repairs through the operating budget.

Pergola, Wood

Line Item: 6.700

Quantity: One wood pergola located near the pools comprise approximately 1,800 square feet.

History: Unknown age

Condition: Fair overall condition with paint finish deterioration and weathered wood.



Pergola



Pergola



Paint finish deterioration



Weathered wood and finish deterioration

Useful Life: Up to 25 years with periodic maintenance

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Annually:
 - Inspect for wood deterioration, and loose or missing fasteners
- Every three years:
 - Power wash with algaecide and application of sealer/stain



Priority: Per Board discretion

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the Association budget for paint applications and repairs through the operating budget.

Pool Finishes

Line Items: 6.800 and 6.801

Quantity: 6,800 square feet of plaster based on the horizontal surface area and approximately 500 linear feet of tile and coping

History:

- Plaster finish: Constructed in 2021
- Tile: Constructed in 2021

Condition: Reported in good overall reported condition; however the Board informs us of plaster refinishing work needed in the near term. We were unable to inspect the pool due to the cover.

Useful Life: 8- to 12-years for the plaster and 15- to 25-years for the tile

Preventative Maintenance Notes: We note the following select recommended preventative maintenance activities to maximize the remaining useful life:

- Semi-annually:
 - Inspect and patch areas of significant plaster delamination, coping damage and structure cracks
 - Inspect main drain connection and anti-entrapment covers, pressure test circulation piping and valves
 - Test handrails and safety features for proper operation

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. We recommend the Association budget for full tile replacement every other plaster replacement event. Removal and replacement provides the opportunity to inspect the pool structure and to allow for partial repairs of the underlying concrete surfaces as needed. To maintain the integrity of the pool structure, we recommend the Association budget for the following:

- Removal and replacement of the plaster finishes
- Partial replacements of the scuppers as needed
- Replacement of tiles as needed
- Replacement of joint sealants as needed
- Concrete structure repairs as needed

Marina Elements

Docks, Floating, Composite with Aluminum Trim

Line Item: 8.400

Quantity: Approximately 1,660 square feet of composite floating docks with aluminum trim

History: Approximately 15 years old

Condition: Good to fair overall condition with minor stains and partial replacements evident.



Floating dock



Floating dock



Floating dock



Floating dock



Floating dock



Floating dock

Useful Life: Up to 30 years

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimate of cost includes an allowance for removal and disposal of the existing docks, and installation of new docks.

Docks, Floating, PVC

Line Item: 8.502

Quantity: 800 square feet of floating PVC docks with aluminum ramp

History: Approximately 10 years old

Condition: Good to fair overall condition with stains and color fade evident



Floating PVC dock overview



Floating PVC dock overview



Floating PVC dock overview



Aluminum Ramp



Stains

Useful Life: 20- to 30-years

Priority: Defer only upon opinion of independent professional or engineer

Expenditure Detail Notes: Expenditure timing and costs are depicted in the **Reserve Expenditures** table in Section 3. Our estimate of cost includes an allowance for removal and disposal of the existing docks, and installation of new docks and aluminum ramp.

Reserve Study Update

An ongoing review by the Board and an Update of this Reserve Study are necessary to ensure an equitable funding plan since a Reserve Study is a snapshot in time. Many variables change after the study is conducted that may result in significant overfunding or underfunding the reserve account. Variables that may affect the Reserve Funding Plan include, but are not limited to:

- Deferred or accelerated capital projects based on Board discretion
- Changes in the interest rates on reserve investments
- Changes in the *local* construction inflation rate
- Additions and deletions to the Reserve Component Inventory



- The presence or absence of maintenance programs
- Unusually mild or extreme weather conditions
- Technological advancements

Periodic updates incorporate these variable changes since the last Reserve Study or Update. We recommend the Board budget for an Update to this Reserve Study every three years. Budgeting for an Update demonstrates the Board's objective to continue fulfilling its fiduciary responsibility to maintain the commonly owned property and to fund reserves appropriately.

5. METHODOLOGY

Reserves for replacement are the amounts of money required for future expenditures to repair or replace Reserve Components that wear out before the entire facility or project wears out. Reserving funds for future repair or replacement of the Reserve Components is also one of the most reliable ways of protecting the value of the property's infrastructure and marketability.

Emerald Green can fund capital repairs and replacements in any combination of the following:

1. Increases in the operating budget during years when the shortages occur
2. Loans using borrowed capital for major replacement projects
3. Level monthly reserve assessments annually adjusted upward for inflation to increase reserves to fund the expected major future expenditures
4. Special assessments

We do not advocate special assessments or loans unless near term circumstances dictate otherwise. Although loans provide a gradual method of funding a replacement, the costs are higher than if the Association were to accumulate reserves ahead of the actual replacement. Interest earnings on reserves also accumulate in this process of saving or reserving for future replacements, thereby defraying the amount of gradual reserve collections. We advocate the third method of *Level Monthly Reserve Assessments* with relatively minor annual adjustments. The method ensures that Owners pay their "fair share" of the weathering and aging of the commonly owned property each year. Level reserve assessments preserve the property and enhance the resale value of the homes.

This Reserve Study is in compliance with and exceeds the National standards¹ set forth by the Association of Professional Reserve Analysts (APRA) fulfilling the requirements of a "Level I Full Reserve Study." These standards require a Reserve Component to have a "predictable remaining Useful Life." Estimating Remaining Useful Lives and Reserve Expenditures beyond 30 years is often indeterminate. Long-Lived Property Elements are necessarily excluded from this analysis. We considered the following factors in our analysis:

- The Cash Flow Method to compute, project and illustrate the 30-year Reserve Funding Plan
- Local² costs of material, equipment and labor
- Current and future costs of replacement for the Reserve Components
- Costs of demolition as part of the cost of replacement
- Local economic conditions and a historical perspective to arrive at our estimate of long-term future inflation for construction costs in Rock Hill, New York at an annual inflation rate³. Isolated or regional markets of

¹ Identified in the APRA "Standards - Terms and Definitions" and the CAI "Terms and Definitions".

² See Credentials for additional information on our use of published sources of cost data.

³ Derived from Marshall & Swift, historical costs and the Bureau of Labor Statistics.



greater construction (development) activity may experience slightly greater rates of inflation for both construction materials and labor.

- The past and current maintenance practices of Emerald Green and their effects on remaining useful lives
- Financial information provided by the Association pertaining to the cash status of the reserve fund and budgeted reserve contribution
- The anticipated effects of appreciation of the reserves over time in accord with a return or yield on investment of your cash equivalent assets. (We did not consider the costs, if any, of Federal and State Taxes on income derived from interest and/or dividend income).
- The Funding Plan excludes necessary operating budget expenditures. It is our understanding that future operating budgets will provide for the ongoing normal maintenance of Reserve Components.

Updates to this Reserve Study will continue to monitor historical facts and trends concerning the external market conditions.



6. CREDENTIALS

HISTORY AND DEPTH OF SERVICE

Founded in 1991, Reserve Advisors is the leading provider of reserve studies, insurance appraisals, developer turnover transition studies, expert witness services, and other engineering consulting services. Clients include community associations, resort properties, hotels, clubs, non-profit organizations, apartment building owners, religious and educational institutions, and office/commercial building owners in 48 states, Canada and throughout the world.

The **architectural engineering consulting firm** was formed to take a leadership role in helping fiduciaries, boards, and property managers manage their property like a business with a long-range master plan known as a Reserve Study.

Reserve Advisors employs the **largest staff of Reserve Specialists** with bachelor's degrees in engineering dedicated to Reserve Study services. Our founders are also founders of Community Associations Institute's (CAI) Reserve Committee that developed national standards for reserve study providers. One of our founders is a Past President of the Association of Professional Reserve Analysts (APRA). Our vast experience with a variety of building types and ages, on-site examination and historical analyses are keys to determining accurate remaining useful life estimates of building components.

No Conflict of Interest - As consulting specialists, our **independent opinion** eliminates any real or perceived conflict of interest because we do not conduct or manage capital projects.

TOTAL STAFF INVOLVEMENT

Several staff members participate in each assignment. The responsible advisor involves the staff through a Team Review, exclusive to Reserve Advisors, and by utilizing the experience of other staff members, each of whom has served hundreds of clients. We conduct Team Reviews, an internal quality assurance review of each assignment, including: the inspection; building component costing; lifing; and technical report phases of the assignment. Due to our extensive experience with building components, we do not have a need to utilize subcontractors.

OUR GOAL

To help our clients fulfill their fiduciary responsibilities to maintain property in good condition.

VAST EXPERIENCE WITH A VARIETY OF BUILDINGS

Reserve Advisors has conducted reserve studies for a multitude of different communities and building types. We've analyzed thousands of buildings, from as small as a 3,500-square foot day care center to a 2,600,000-square foot 98-story highrise. We also routinely inspect buildings with various types of mechanical systems such as simple electric heat, to complex systems with air handlers, chillers, boilers, elevators, and life safety and security systems.

We're familiar with all types of building exteriors as well. Our well-versed staff regularly identifies optimal repair and replacement solutions for such building exterior surfaces such as adobe, brick, stone, concrete, stucco, EIFS, wood products, stained glass and aluminum siding, and window wall systems.

OLD TO NEW

Reserve Advisors' experience includes ornate and vintage buildings as well as modern structures. Our specialists are no strangers to older buildings. We're accustomed to addressing the unique challenges posed by buildings that date to the 1800's. We recognize and consider the methods of construction employed into our analysis. We recommend appropriate replacement programs that apply cost effective technologies while maintaining a building's character and appeal.



DAVID M. MARINO, RS
Responsible Advisor



CURRENT CLIENT SERVICES

David M. Marino, a Civil Engineer, is an Advisor for Reserve Advisors. Mr. Marino is responsible for the inspection and analysis of the condition of clients' property, and recommending engineering solutions to prolong the lives of the components. He also forecasts capital expenditures for the repair and/or replacement of the property components and prepares technical reports on assignments. He is responsible for conducting Life Cycle Cost Analysis and Capital Replacement Forecast services and the preparation of Reserve Study Reports for condominiums, townhomes and homeowner associations.

The following is a partial list of clients served by David Marino demonstrating his breadth of experiential knowledge of community associations in construction and related buildings systems.

The Plains at Parish Homestead Homeowners Association is a townhome style development of 38 units in 13 buildings built from 2007 to 2009. The Association maintains the asphalt pavement driveways, concrete stoops and two ponds at this property located in Oneonta, New York

Commerce Park Condominium Association – This commercial style development located in Kingston, New Hampshire, consists of 18 units in two two-story buildings. The Association maintains the septic system drain field and pumps, emergency generator, life safety system, asphalt streets, and masonry retaining walls.

Gardens at Summerfield Condominium Association - This community in Shelton, Connecticut contains 125 units in 33 buildings. The townhomes comprise of vinyl siding and asphalt shingle roofs. Features of this property include a clubhouse, pool, asphalt streets, concrete sidewalks, and masonry retaining walls.

Bromptons at Rosslyn A midrise style development in Arlington, Virginia, which consists of 37 units in five four-story buildings that date to 2002. This complex includes a thermoplastic roof, masonry paver access drives and shared masonry stairwells at the entrances to the units.

Anglesea II Condominium Association - This community is located in Warwick, Rhode Island and consists of 54 units in 16 buildings which were constructed from 2000 to 2003. The Association maintains two ponds, an irrigation system, asphalt driveways, concrete stoops and sidewalks.

The Village Homeowners Association – Located in Glastonbury Connecticut, this property is comprised of 56 units in 10 buildings which were constructed in 1979. Features of this property include asphalt streets, concrete sidewalks, detached garages, wood balconies and masonry retaining walls.

PRIOR RELEVANT EXPERIENCE

Before joining Reserve Advisors, Mr. Marino attended Manhattan College in Bronx, New York where he attained his Bachelor of Science degree in Civil Engineering. His studies focused on construction management engineering and transportation engineering. Mr. Marino also worked as a field engineer for the City of New Rochelle where he gained knowledge in construction, including but not limited to the construction of roadways, drainage, and concrete structures.

EDUCATION

Manhattan College - B.S. Civil Engineering



JON R. WALKER, RS
Northeast Quality Assurance Engineer

CURRENT CLIENT SERVICES

Jon R. Walker, an Engineer, is an Advisor for Reserve Advisors. Mr. Walker is responsible for the inspection and analysis of the condition of clients' properties, and recommending engineering solutions to prolong the lives of the components. He also forecasts capital expenditures for the repair and/or replacement of the property components and prepares technical reports on assignments. He is responsible for conducting Life Cycle Cost Analyses and Capital Replacement Forecast services and the preparation of Reserve Study Reports for condominiums, townhomes, planned unit developments and homeowner associations.



The following is a partial list of clients served by Jon Walker demonstrating the breadth of experiential knowledge of community associations in construction and related systems.

Jefferson Chase Condominium is a four-building condominium-style community located in Frederick Maryland that features construction elements that date back to 1955. Jefferson Chase utilizes a variety of unique amenities including a fitness center, outdoor picnic and grilling area, and playground. The community also features a wide-ranging collection of exterior building elements including modified bitumen and EPDM flat roofs, concrete balconies, and masonry.

The Ponds at Chesterbrook are located in the Northwest suburbs of Philadelphia, Pennsylvania. The community is home to 48 units across 15 buildings that range in styles from condominiums and townhomes to lofts and single family homes. Constructed in 1983, The Ponds contain a variety of stone masonry chimneys in addition to two ponds.

Parker House – Located in downtown Washington, D.C., this well-known six-story midrise dates back to 1928. Converted to condominiums in 1978, Parker House now services 55 units and lay in the heart of the Wakefield neighborhood. The mid-rise features a unique blend of masonry and limestone exteriors and decorative terrazzo interior lobby floor coverings.

Quaker Hill Condominium – Built in 1991, Quaker Hill is located within the Taylor Run neighborhood in Alexandria, Virginia. The large midrise contains various unique elements including elevated and on-grade breezeways, hydraulic elevators, balconies, terraces, and large concrete retaining walls.

King James Landing is a waterfront community built in 1987 and located in Annapolis, Maryland. Residents enjoy a marina that backs up to Back Creek Harbor, a service waterway to the Chesapeake Bay. King James Landing represents a wide range of exterior styles and time periods within the attached-home style community. Features of King James Landing include a gate entry system, retaining walls, wood decks, bulkheads, and docks.

PRIOR RELEVANT EXPERIENCE

Before joining Reserve Advisors, Mr. Walker attended Virginia Tech University in Blacksburg, Virginia where he attained his Bachelor of Science degree in Aerospace Engineering. His studies largely focused on application of the principles of science and mathematics to develop cost-effective solutions to technical problems.

EDUCATION

Virginia Tech University – B.S. Aerospace Engineering

ALAN M. EBERT, P.E., PRA, RS
Director of Quality Assurance

CURRENT CLIENT SERVICES:

Alan M. Ebert is the Director of Quality Assurance at Reserve Advisors and a direct, accessible resource to client boards, community managers, and stakeholders. Since entering the reserve study industry in 2007, he has conducted or personally reviewed approximately 20,000 reserve studies across the United States and internationally. He continues to perform hands-on technical reviews while leading the firm's Quality Assurance Engineers and production team to ensure accurate, consistent, and timely delivery of reports. Clients rely on Mr. Ebert for clear explanations, practical recommendations, and ongoing support before, during, and after report delivery.



SCOPE OF EXPERIENCE:

Mr. Ebert's background in geological engineering includes analysis of foundations, retaining walls, and slope stability—critical components that inform his assessment of building systems and site infrastructure. He has directed and reviewed reserve studies for a wide range of properties and building systems, including:

- High-rise and mid-rise condominium buildings with complex façades, balconies, structured parking, elevators, and life-safety systems
- Garden-style condominiums and townhome communities with extensive roofing portfolios, exterior cladding, and common-area infrastructure
- Master-planned and large-scale HOAs with private roadways, stormwater systems, lakes and water features, irrigation networks, and recreational amenities (pools, clubhouses, courts, fitness facilities)
- Historic and legacy properties with specialized envelope, structural and accessibility
- Coastal and cold-climate communities subject to salt exposure, wind-driven rain, and freeze-thaw durability demands
- Properties with on-site utilities and site structures, such as septic and wastewater systems, retaining walls, slope stabilization, bridges, and extensive hardscapes
- Mixed-use and commercial association components, including central HVAC plants and building automation systems

LEADERSHIP, QUALITY ASSURANCE, AND CLIENT SERVICE

- Oversees Quality Assurance Engineers and the Production Team to align standards, workflows, and schedules for on-time, high-quality reserve study reports
- Conducts in-depth technical reviews; standardizes methodologies, cost databases, and component life modeling to drive consistency and accuracy
- Serves as a personal resource to clients—available for planning discussions, board presentations, and Q&A to ensure clarity of findings and funding recommendations
- Tailors analyses to community goals, governing documents, and statutory requirements; collaborates with clients on phasing strategies and budget alignment

EDUCATION

- University of Wisconsin–Madison, B.S., Geological Engineering

LICENSES AND CREDENTIALS

- Licensed Professional Engineer (PE): Illinois, Colorado, North Carolina, Wisconsin (since 2012)
- Reserve Specialist (RS), Community Associations Institute (CAI)
- Professional Reserve Analyst (PRA), Association of Professional Reserve Analysts (APRA)



RESOURCES

Reserve Advisors utilizes numerous resources of national and local data to conduct its Professional Services. A concise list of several of these resources follows:

Association of Construction Inspectors, (ACI) the largest professional organization for those involved in construction inspection and construction project management. ACI is also the leading association providing standards, guidelines, regulations, education, training, and professional recognition in a field that has quickly become important procedure for both residential and commercial construction, found on the web at www.iami.org.

American Society of Heating, Refrigerating and Air-Conditioning Engineers, Inc., (ASHRAE) the American Society of Heating, Refrigerating and Air-Conditioning Engineers, Inc., devoted to the arts and sciences of heating, ventilation, air conditioning and refrigeration; recognized as the foremost, authoritative, timely and responsive source of technical and educational information, standards and guidelines, found on the web at www.ashrae.org. Reserve Advisors actively participates in its local chapter and holds individual memberships.

Community Associations Institute, (CAI) America's leading advocate for responsible communities noted as the only national organization dedicated to fostering vibrant, responsive, competent community associations. Their mission is to assist community associations in promoting harmony, community, and responsible leadership.

Marshall & Swift / Boeckh, (MS/B) the worldwide provider of building cost data, co-sourcing solutions, and estimating technology for the property and casualty insurance industry found on the web at www.marshallswift.com.

R.S. Means CostWorks, North America's leading supplier of construction cost information. As a member of the Construction Market Data Group, Means provides accurate and up-to-date cost information that helps owners, developers, architects, engineers, contractors and others to carefully and precisely project and control the cost of both new building construction and renovation projects found on the web at www.rsmeans.com.

Reserve Advisors' library of numerous periodicals relating to reserve studies, condition analyses, chapter community associations, and historical costs from thousands of capital repair and replacement projects, and product literature from manufacturers of building products and building systems.

7. DEFINITIONS

Definitions are derived from the standards set forth by the Community Associations Institute (CAI) representing America's 305,000 condominium and homeowners associations and cooperatives, and the Association of Professional Reserve Analysts, setting the standards of care for reserve study practitioners.

Cash Flow Method - A method of calculating Reserve Contributions where contributions to the reserve fund are designed to offset the variable annual expenditures from the reserve fund. Different Reserve Funding Plans are tested against the anticipated schedule of reserve expenses until the desired funding goal is achieved.

Component Method - A method of developing a Reserve Funding Plan with the total contribution is based on the sum of the contributions for individual components.

Current Cost of Replacement - That amount required today derived from the quantity of a *Reserve Component* and its unit cost to replace or repair a Reserve Component using the most current technology and construction materials, duplicating the productive utility of the existing property at current *local* market prices for *materials*, *labor* and manufactured equipment, contractors' overhead, profit and fees, but without provisions for building permits, overtime, bonuses for labor or premiums for material and equipment. We include removal and disposal costs where applicable.

Fully Funded Balance - The Reserve balance that is in direct proportion to the fraction of life "used up" of the current Repair or Replacement cost similar to Total Accrued Depreciation.

Funding Goal (Threshold) - The stated purpose of this Reserve Study is to determine the adequate, not excessive, minimal threshold reserve balances.

Future Cost of Replacement - *Reserve Expenditure* derived from the inflated current cost of replacement or current cost of replacement as defined above, with consideration given to the effects of inflation on local market rates for materials, labor and equipment.

Long-Lived Property Component - Property component of Emerald Green responsibility not likely to require capital repair or replacement during the next 30 years with an unpredictable remaining Useful Life beyond the next 30 years.

Percent Funded - The ratio, at a particular point of time (typically the beginning of the Fiscal Year), of the actual (or projected) Reserve Balance to the Fully Funded Balance, expressed as a percentage.

Remaining Useful Life - The estimated remaining functional or useful time in years of a *Reserve Component* based on its age, condition and maintenance.

Reserve Component - Property elements with: 1) Emerald Green responsibility; 2) limited Useful Life expectancies; 3) predictable Remaining Useful Life expectancies; and 4) a replacement cost above a minimum threshold.

Reserve Component Inventory - Line Items in *Reserve Expenditures* that identify a *Reserve Component*.

Reserve Contribution - An amount of money set aside or *Reserve Assessment* contributed to a *Reserve Fund* for future *Reserve Expenditures* to repair or replace *Reserve Components*.

Reserve Expenditure - Future Cost of Replacement of a Reserve Component.

Reserve Fund Status - The accumulated amount of reserves in dollars at a given point in time, i.e., at year end.

Reserve Funding Plan - The portion of the Reserve Study identifying the *Cash Flow Analysis* and containing the recommended Reserve Contributions and projected annual expenditures, interest earned and reserve balances.

Reserve Study - A budget planning tool that identifies the current status of the reserve fund and a stable and equitable Funding Plan to offset the anticipated future major common area expenditures.

Useful Life - The anticipated total time in years that a *Reserve Component* is expected to serve its intended function in its present application or installation.



8. PROFESSIONAL SERVICE CONDITIONS

Our Services - Reserve Advisors, LLC ("RA") performs its services as an independent contractor in accordance with our professional practice standards and its compensation is not contingent upon our conclusions. The purpose of our reserve study is to provide a budget planning tool that identifies the current status of the reserve fund, and an opinion recommending an annual funding plan, to create reserves for anticipated future replacement expenditures of the subject property. The purpose of our energy benchmarking services is to track, collect and summarize the subject property's energy consumption over time for your use in comparison with other buildings of similar size and establishing a performance baseline for your planning of long-term energy efficiency goals. The purpose of our Milestone Phase I is to evaluate the structural integrity of the building on the subject property and provide an inspection report summarizing our findings related to structural issues, or lack thereof.

In each case, our inspection and analysis of the subject property is limited to visual observations, is noninvasive and is not meant to nor does it include investigation into statutory, regulatory or code compliance. RA inspects sloped roofs from the ground and inspects flat roofs where safe access (stairs or ladder permanently attached to the structure) is available. Our energy benchmarking services with respect to the subject property is limited to collecting energy and utility data and summarizing such data in the form of an Energy Star Portfolio Manager Report or any other similar report, and hereby expressly excludes any recommendations with respect to the results of such energy benchmarking services or the accuracy of the energy information obtained from utility companies and other third-party sources with respect to the subject property. Our Milestone Phase I inspections are limited to a visual examination of habitable and uninhabitable areas of the building, including the primary structural members and systems. The inspection aims to determine the presence of substantial structural deterioration, and unsafe or dangerous conditions with the structure. The reserve report, Milestone Phase 1 report, and any energy benchmarking report (i.e., any Energy Star Portfolio Manager Report) (including any subsequent revisions thereto pursuant to the terms hereof, collectively, the "Report") are based upon a "snapshot in time" at the moment of inspection. RA may note visible physical defects in the Report. The inspection is made by employees generally familiar with real estate and building construction. Except to the extent readily apparent to RA, RA cannot and shall not opine on the structural integrity of or other physical defects in the property under any circumstances. Without limitation to the foregoing, RA cannot and shall not opine on, nor is RA responsible for, the property's conformity to specific governmental code requirements for fire, building, earthquake, occupancy or otherwise.

RA is not responsible for conditions that have changed between the time of inspection and the issuance of the Report. RA does not provide invasive testing on any mechanical systems that provide energy to the property, nor can RA opine on any system components that are not easily accessible during the inspection. RA does not investigate, nor assume any responsibility for any existence or impact of any hazardous materials, such as asbestos, urea-formaldehyde foam insulation, other chemicals, toxic wastes, environmental mold or other potentially hazardous materials or structural defects that are latent or hidden defects which may or may not be present on or within the property. RA does not make any soil analysis or geological study as part of its services, nor does RA investigate vapor, water, oil, gas, coal, or other subsurface mineral and use rights or such hidden conditions, and RA assumes no responsibility for any such conditions. The Report contains opinions of estimated replacement costs or deferred maintenance expenses and remaining useful lives, which are neither a guarantee of the actual costs or expenses of replacement or deferred maintenance nor a guarantee of remaining useful lives of any property element.

RA assumes, without independent verification, the accuracy of all data provided to it. Except to the extent resulting from RA's willful misconduct in connection with the performance of its obligations under this agreement, you agree to indemnify, defend, and hold RA and its affiliates, officers, managers, employees, agents, successors and assigns (each, an "RA Party") harmless from and against (and promptly reimburse each RA Party for) any and all losses, claims, actions, demands, judgments, orders, damages, expenses or liabilities, including, without limitation, reasonable attorneys' fees, asserted against or to which any RA Party may become subject in connection with this engagement, including, without limitation, as a result of any false, misleading or incomplete information which RA relied upon that was supplied by you or others under your direction, or which may result from any improper use or reliance on the Report by you or third parties under your control or direction or to whom you provided the Report. NOTWITHSTANDING ANY OTHER PROVISION HEREIN TO THE CONTRARY, THE AGGREGATE LIABILITY (IF ANY) OF RA WITH RESPECT TO THIS AGREEMENT AND RA'S OBLIGATIONS HEREUNDER IS LIMITED TO THE AMOUNT OF THE FEES ACTUALLY RECEIVED BY RA FROM YOU FOR THE SERVICES AND REPORT PERFORMED BY RA UNDER THIS AGREEMENT, WHETHER ARISING IN CONTRACT, TORT (INCLUDING NEGLIGENCE), STRICT LIABILITY OR OTHERWISE. YOUR REMEDIES SET FORTH HEREIN ARE EXCLUSIVE AND ARE YOUR SOLE REMEDIES FOR ANY FAILURE OF RA TO COMPLY WITH ITS OBLIGATIONS HEREUNDER OR OTHERWISE. RA SHALL NOT BE LIABLE FOR ANY SPECIAL, INDIRECT, INCIDENTAL, CONSEQUENTIAL, PUNITIVE OR EXEMPLARY DAMAGES OF ANY KIND, INCLUDING, BUT NOT LIMITED TO, ANY LOST PROFITS AND LOST SAVINGS, LOSS OF USE OR INTERRUPTION OF BUSINESS, HOWEVER CAUSED, WHETHER ARISING IN CONTRACT, TORT (INCLUDING NEGLIGENCE), BREACH OF WARRANTY, STRICT LIABILITY OR OTHERWISE, EVEN IF RA HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES. IN NO EVENT WILL RA BE LIABLE FOR THE COST OF PROCUREMENT OF SUBSTITUTE GOODS OR SERVICES. RA DISCLAIMS ALL REPRESENTATIONS AND WARRANTIES WHATSOEVER, EXPRESS OR IMPLIED OR OF ANY NATURE, WITH REGARD TO THE SERVICES AND THE REPORT, INCLUDING, WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.



Report - RA will complete the services in accordance with the Proposal. The Report represents a valid opinion of RA's findings and recommendations with respect to the reserve study or Milestone Phase I, as applicable, and is deemed complete. RA will consider any additional information made available to RA within 6 months of issuing the Report and issue a revised Report based on such additional information if a timely request for a revised Report is made by you. RA retains the right to withhold a revised Report if payment for services was not tendered in a timely manner. All information received by RA and all files, work papers or documents developed by RA during the course of the engagement shall remain the property of RA and may be used for whatever purpose it sees fit. RA reserves the right to, and you acknowledge and agree that RA may, use any data provided by you in connection with the services, or gathered as a result of providing such services, including in connection with creating and issuing any Report, in a de-identified and aggregated form for RA's business purposes.

Your Obligations - You agree to provide us access to the subject property for an inspection. You agree to provide RA all available, historical and budgetary information, the governing documents, and other information that we request and deem necessary to complete the Report. Additionally, you agree to provide historical replacement schedules, utility bills and historical energy usage files that RA requests and deems necessary to complete the energy benchmarking services, and you agree to provide any utility release(s) reasonably requested by RA permitting RA to obtain any such data and/or information from any utility representative or other third party. You agree to pay actual attorneys' fees and any other costs incurred to collect on any unpaid balance for RA's services.

Use of Our Report and Your Name - Use of the Report is limited to only the purpose stated herein. You acknowledge that RA is the exclusive owner of all intellectual property rights in and relating to the Report. You hereby acknowledge that any use or reliance by you on the Report for any unauthorized purpose is at your own risk and that you will be liable for the consequences of any unauthorized use or distribution of the Report. Use or possession of the Report by any unauthorized third party is prohibited. The Report in whole or in part ***is not and cannot be used as a design specification for design engineering purposes or as an appraisal.*** You may show the Report in its entirety to the following third parties: members of your organization (including your directors, officers, tenants and prospective purchasers), your accountants, attorneys, financial institutions and property managers who need to review the information contained herein, and any other third party who has a right to inspect the Report under applicable law including, but not limited to, any government entity or agency, or any utility companies. Without the written consent of RA, you shall not disclose the Report to any other third party. By engaging our services, you agree that the Report contains intellectual property developed (and owned solely) by RA and agree that you will not reproduce or distribute the Report ***to any party that conducts reserve studies without the written consent of RA.***

RA will include (and you hereby agree that RA may include) your name in our client lists. RA reserves the right to use (and you hereby agree that RA may use) property information to obtain estimates of replacement costs, useful life of property elements or otherwise as RA, in its sole discretion, deems appropriate.

Payment Terms, Due Dates and Interest Charges - The retainer payment for any reserve study, Milestone Phase I inspection, and/or combined services is due upon execution of this agreement and prior to the inspection by RA, and any balance is due net 30 days from the Report shipment date. If only energy benchmarking services are performed by RA, then the retainer payment is due upon execution of this agreement and any balance is due net 30 days from the Report shipment date. In any case, any balance remaining 30 days after delivery of the Report shall accrue an interest charge of 1.5% per month. Unless this agreement is earlier terminated by RA in the event you breach or otherwise fail to comply with your obligations under this agreement, RA's obligations under this agreement shall commence on the date you execute and deliver this agreement and terminate on the date that is 6 months from the date of delivery of the Report by RA. Notwithstanding anything herein to the contrary, each provision that by its context and nature should survive the expiration or early termination of this agreement shall so survive, including, without limitation, any provisions with respect to payment, intellectual property rights, limitations of liability and governing law. We reserve the right to limit or decline refunds in our sole discretion. Refunds vary based on the applicable facts and circumstances.

Miscellaneous – Neither party shall be liable for any failures or delays in performance due to fire, flood, strike or other labor difficulty, act of God, act of any governmental authority, riot, embargo, fuel or energy shortage, pandemic, wrecks or delays in transportation, or due to any other cause beyond such party's reasonable control; provided, however, that you shall not be relieved from your obligations to make any payment(s) to RA as and when due hereunder. In the event of a delay in performance due to any such cause, the time for completion or date of delivery will be extended by a period of time reasonably necessary to overcome the effect of such delay. You may not assign or otherwise transfer this agreement, in whole or in part, without the prior written consent of RA. RA may freely assign or otherwise transfer this agreement, in whole or in part, without your prior consent. This agreement shall be governed by the laws of the State of Wisconsin without regard to any principles of conflicts of law that would apply the laws of another jurisdiction. Any dispute with respect to this agreement shall be exclusively venued in Milwaukee County Circuit Court or in the United States District Court for the Eastern District of Wisconsin. Each party hereto agrees and hereby waives the right to a trial by jury in any action, proceeding or claim brought by or on behalf of the parties hereto with respect to any matter related to this agreement.